



City of Annapolis
Department of Planning & Zoning
Historic Preservation Division
145 Gorman Street, 3rd Floor
Annapolis, MD 21401-2535

FOR CITY USE ONLY	
AGENDA #	
MEETING DATE	

HistPres@annapolis.gov • 410-260-2200 • Fax 410-263-9158 • MD Relay or 711 • www.annapolis.gov

Historic Preservation Commission Public Hearing Application for Certificate of Approval

Building site address 95 Shipwright Street

Provide complete information below. Mailing addresses and telephone numbers are *required*.

Property Owner Information		Contractor's Information	
Name	<u>Andrew and Whitney Odenwald</u>	Name	<u>Lang and Co. Richard Lang</u>
Address	<u>95 Shipwright Street</u>	Address	<u>273 D. Peninsula Farm Road</u>
City	<u>Annapolis</u> State <u>Md.</u> Zip <u>21401</u>	City	<u>Arnold</u> State <u>Md.</u> Zip <u>21012</u>
Day phone	<u></u> Cell <u>410-703-2146</u>	Day phone	<u></u> Cell <u>410-991-0495</u>
E-mail	<u>aodenwald@celgene.com</u>	E-mail	<u>rlang@lang-co.com</u>

Authorizing Applicant Information		Architect/Engineer Information	
Name	<u>Peter C. Miller - Fourth Street Design Studio, Inc.</u>	Name	<u>Gary S. Schwerzler - Fourth Street Design Studio</u>
Address	<u>421 Fourth Street</u>	Address	<u>421 Fourth Street</u>
City	<u>Annapolis</u> State <u>Md.</u> Zip <u>21403</u>	City	<u>Annapolis</u> State <u>Md.</u> Zip <u>21403</u>
Day phone	<u>410-267-9659</u> Cell <u>410-693-3606</u>	Day phone	<u>410-267-9659</u> Cell <u>410-269-8812</u>
E-mail	<u>pete.fsds@gmail.com</u>	E-mail	<u>gary.fsds@gmail.com</u>

1. Applicant/Agent to receive comments Peter C. Miller
2. Will you be applying for the Historic Preservation Tax Credit? Yes ☒ No
- The tax credit is limited to those expenses having to do with the exterior features of a structure and the total estimate of expenses per application must exceed \$5,000. Applications must be submitted prior to start of work. Please refer to the Annapolis City Code Section 6.04.230 – Historic Preservation Tax Credit.
3. Are there any easements or deed restrictions for the exterior of this building or the site? Yes ☒ No
- If yes, submit a letter from the easement holder stating their approval of the proposed work.
4. A site plan to scale indicating property lines and lot dimensions, adjacent street and curb cuts, existing structures and locations for all existing and proposed exterior signs.
- If signs are proposed please provide drawings indicating material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.
5. Scaled drawings (1/4" to 1") for new construction, additions, and major alterations must be submitted. Drawings must include: plans, sections, elevations and details.
6. Printed & labeled color photographs or digital photos 4" x 6" or larger of existing conditions.
7. Applicant must provide cut sheets/specifications on materials and methods to be used.
8. Required permits attached, if applicable: Fence Tree Sign ☒ Building
9. A PDF on a Disc or Thumb Drive of entire application package must be submitted.

10. Description of work proposed. Please **be specific** and include as much information as possible in the box below. Attach an extra sheet if more space is needed.

SEE ATTACHED SCOPE OF WORK

11. Estimated cost of improvement \$ 90,000.00

Filing Fee

Rate is 1% of Estimated Cost of Improvement. (Minimum of \$35.00 – Maximum of \$1,000.00)

Rate is 1% of Estimated Cost of Improvement for "After the Fact" Approvals (Minimum of \$50.00 – Maximum of \$2,000.00)

Make check payable to *City of Annapolis*.

Please refer to the "Guidelines for Filing a Historic Preservation Commission Public Hearing Application" for additional details on submittal requirements.

Signature of owner or authorized agent

The applicant certifies and agrees as follows: (1) that they are authorized by the property owner to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically approved by the Historic Preservation Commission; (5) that they are authorized by the property owner to grant City officials the right to enter onto the property for the purpose of inspecting the work permitted.

A Notice of Public Hearing sign will be made available to the applicant. By signing this application, the applicant acknowledges that it is their responsibility to post the sign 15 days before the hearing.

Owner/Applicant signature  Date January 25, 2018

FOR CITY USE ONLY

Rate x Estimated Cost \$ _____ Application received _____

Amendment to COA # _____ Date paid _____

95 SHIPWRIGHT STREET SCOPE OF EXTERIOR WORK:

Northeast Front– Shipwright Street Elevation:

1. Replace existing second floor and third floor metal clad windows with new metal clad windows of same size.
2. Replace existing front door and sidelights with new wider front door and single sidelight.
3. Replace existing front entry light fixture with new.
4. Construct new front entry roof cover.
5. Replace existing garage passenger door with new 4 panel passenger door of same size.
6. Replace existing garage overhead door with new paneled overhead garage door with upper glass panels of same size.

Southeast Side Elevation:

1. Remove one basement window and infill with concrete masonry and waterproof. Fill existing window well with drainable gravel fill.
2. Replace one existing metal clad basement window with new metal clad window of same size.
3. Replace existing first floor and second floor metal clad windows with new metal clad windows of same size.

Southwest Rear Elevation:

1. Replace existing first floor and second floor metal clad windows/door in living room and open space above with new metal clad windows/door of same size.
2. Replace existing second floor and third floor metal clad windows in master bedroom (second floor) and family room (third floor) with new metal clad windows of same size.
3. Replace existing metal clad French door and adjacent window in kitchen with new single metal clad French door in new location.
4. Add new metal clad triple casement window in first floor dining room.
5. Remove third floor exterior deck solid wall guard rail and replace with new cable rail system. Provide new gutter and downspout to drain deck with splash-block at grade.

Northwest Side Elevation:

1. Remove existing first floor metal clad windows and infill with new wall construction to match existing.
2. Remove one existing skylight and infill with new roof construction to match existing.
3. Replace 3 existing skylights with new curb mounted skylights of smaller size. Infill remaining roof area with new roof construction to match existing.
4. Replace existing metal clad awning windows in second and third floor bathrooms with new metal clad awning windows of smaller size. Infill remaining areas with new wall construction to match existing.
5. Add gutter and downspout to garage roof.
6. Locate two new mechanical condenser units at grade on pads.

Third Floor Exterior Deck:

1. Remove existing metal clad sliding glass doors at family room and replace with new metal clad window in new location and new larger metal clad sliding glass door. Infill remaining areas with new wall construction to match existing.
2. Remove existing metal clad sliding glass door in hallway. Construct new elevator shaft in area between hallway and existing masonry chimney. Add new metal clad window in hallway in new location. Elevator shaft to receive two metal clad windows. Extend existing roof overhang to abut existing masonry chimney and to enclose new elevator shaft. Provide new gutter and downspout. Provide new metal cricket at roof to divert water around chimney.
3. Remove solid wall guardrail at rear and replace with new cable rail system. Provide new gutter and downspout to drain deck with splash-block at grade.
4. Remove existing decking and waterproof deck system and provide new 3/4" x 5&1/2" Ipe decking over new modified waterproof deck construction.

Upper Roof:

1. Provide new ARS-2 fluid applied partially reinforced membrane roof coating system by Acrymax Technologies, Inc. over existing low pitched flat seam metal roofing.



City of Annapolis
Department of Planning and Zoning
 145 Gorman Street, 3rd Fl
 Annapolis, MD 21401-2529

FOR CITY USE ONLY	
PERMIT #	_____
ISSUED	_____
BY	_____
EXPIRES	_____

Permitting@annapolis.gov • 410-260-2200 • Fax 410-263-9158 • TDD use MD Relay or 711 • www.annapolis.gov

Building Permit Application

Per City Code Section 17.12.056, fees are not refundable.

Fee Schedule

Please note that, per City Code Section 17.28.090, any expansion or change in use may be subject to capital facility assessment charges.

Building site address 95 Shipwright Street Suite/Unit # _____

Property Tax ID # 06-000-04155251 Lot # _____ Zone _____

Is above address within the Historic District area? ☒ Yes ☐ No Waterfront? ☐ Yes ☒ No

Within the floodplain? ☐ Yes ☒ No Sprinkler system in building? ☐ Yes ☒ No

Property Owner Information

Name Andrew and Whitney Odenwald
 Address 95 Shipwright Street
 City Annapolis State Md. Zip 21401
 Day phone _____ Cell 410-703-2146
 E-mail aodenwald@celgene.com

Contractor's Information

Name Lang and Co. - Richard Lang
 Address 273 D. Peninsula Farm Road
 City Arnold State Md. Zip 21012
 Day phone _____ Cell 410-991-0495
 E-mail rlang@lang-co.com

Applicant Information

Name Peter C. Miller - Fourth Street Design Studio, Inc.
 Address 421 Fourth Street
 City Annapolis State Md. Zip 21403
 Day phone 410-267-9659 Cell 410-693-3606
 E-mail pete.fsds@gmail.com

Architect/Engineer Information

Name Gary Schwerzler - Fourth Street Design Studio
 Address 421 Fourth Street
 City Annapolis State Md. Zip 21403
 Day phone 410-267-9659 Cell 410-269-8812
 E-mail gary.fsds@gmail.com

Occupant Information

Name Owner Occupied
 Address _____
 City _____ State _____ Zip _____
 Day phone _____ Cell _____
 E-mail _____

Permit Information

Please check if any of the following work to be done is:
☐ Plumbing ☒ Electrical ☒ HVAC ☐ Gas
☒ Residential ☐ Commercial
 Value of work \$ 90,000.00

Please provide 24-hour emergency contact information:

Name Peter C. Miller Phone 410-693-3606

Describe proposed work:

SEE ATTACHED SCOPE OF WORK

Permit # _____

Building site address 95 Shipwright Street Date January 25, 2018

Contractor License	License #	Expiration Date
MHIC	122202	Sept. 2019
State of MD Construction		
MD Homebuilder Registration (New residential dwellings only)		

Dimensions of Proposed Structure

Lot size Existing Building size Existing Building height Existing # of stories 2&1/2
 Basement area only 1,053 sq. ft. Total floor area (including basement) 4,289 sq. ft.
 Proposed setbacks from property line (ft) Front Exist. Left Exist. Rear Exist. Right Exist.
 Is it a corner lot? Yes ☒ No

If a water or sewer connection is required, I prefer:

City installation To seek approval of the Public Works Department to have it installed by a licensed contractor (which may require a Street/Sidewalk Opening Permit and/or a bond)

Are trees being removed? Yes ☒ No If yes, complete a Tree Permit application.Are there trees within 15' of the limit of disturbance? Yes ☒ No If yes, complete a Trees in Construction Areas form.

A use permit is required for new tenants, change of occupancy or owner, or expansion of a commercial use. (A use permit application must accompany the building permit application.)

Existing use Single Family ResidentialProposed use Single Family Residential

A certificate of occupancy may be required as determined by the Code Official.

Signature of owner or authorized agent

The applicant certifies and agrees as follows: (1) that they are authorized to make this application; (2) that the information is correct; (3) that they will comply with all regulations of the City of Annapolis which are applicable hereto; (4) that they will only perform work on the above property specifically described in this application; (5) that they grant City officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices; (6) if you choose to appeal the issuance, decision, determination or order of this permit, the petition for appeal shall be in writing stating the grounds for appeal and shall be filed with the Building Board of Appeals within 15 calendar days of issuance, decision, determination or order. Any right to appeal shall be waived if not timely filed.

Owner or Authorized Agent (print) Peter C. Miller - Fourth Street Design Studio, Inc.Signature  Date January 25, 2018

FOR CITY USE ONLY

PZ final approval _____ Date _____

App fee paid _____ Permit fee _____ Fee due _____

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Upper Roof:

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95 SHIPWRIGHT ST. - NORTHEAST FRONT ELEVATION

1/24/18

1



2

1/24/18

95 SHIPWRIGHT ST. - NORTHEAST FRONT ELEVATION



3

1/24/18

95 SHIPWRIGHT ST. - NORTHEAST FRONT ELEVATION



4

1/24/18

95 SHIPWRIGHT ST. - FRONT ENTRY DETAIL



95 SHIPWRIGHT ST. - SOUTHEAST GARAGE WALL ELEVATION 1/24/18 [5]



95 SHIPWRIGHT ST. - SOUTHEAST SIDE ELEVATION

1/24/18

6



915 SHIPWRIGHT ST. - SOUTHEAST SIDE ELEVATION 11/24/18 7





95 SHIPWRIGHT ST. - SOUTHWEST REAR ELEVATION

1/24/18

9



95 SHIPWRIGHT ST. - REAR ELEVATION DETAIL

1/24/18



95 SHIPWRIGHT ST. - REAR ELEVATION DETAIL

1/24/18

11



95 SHIPWRIGHT ST. - NORTHWEST SIDE ELEVATION 1/24/18



95 SHIPWRIGHT ST. - THIRD FLOOR DECK AT HALL



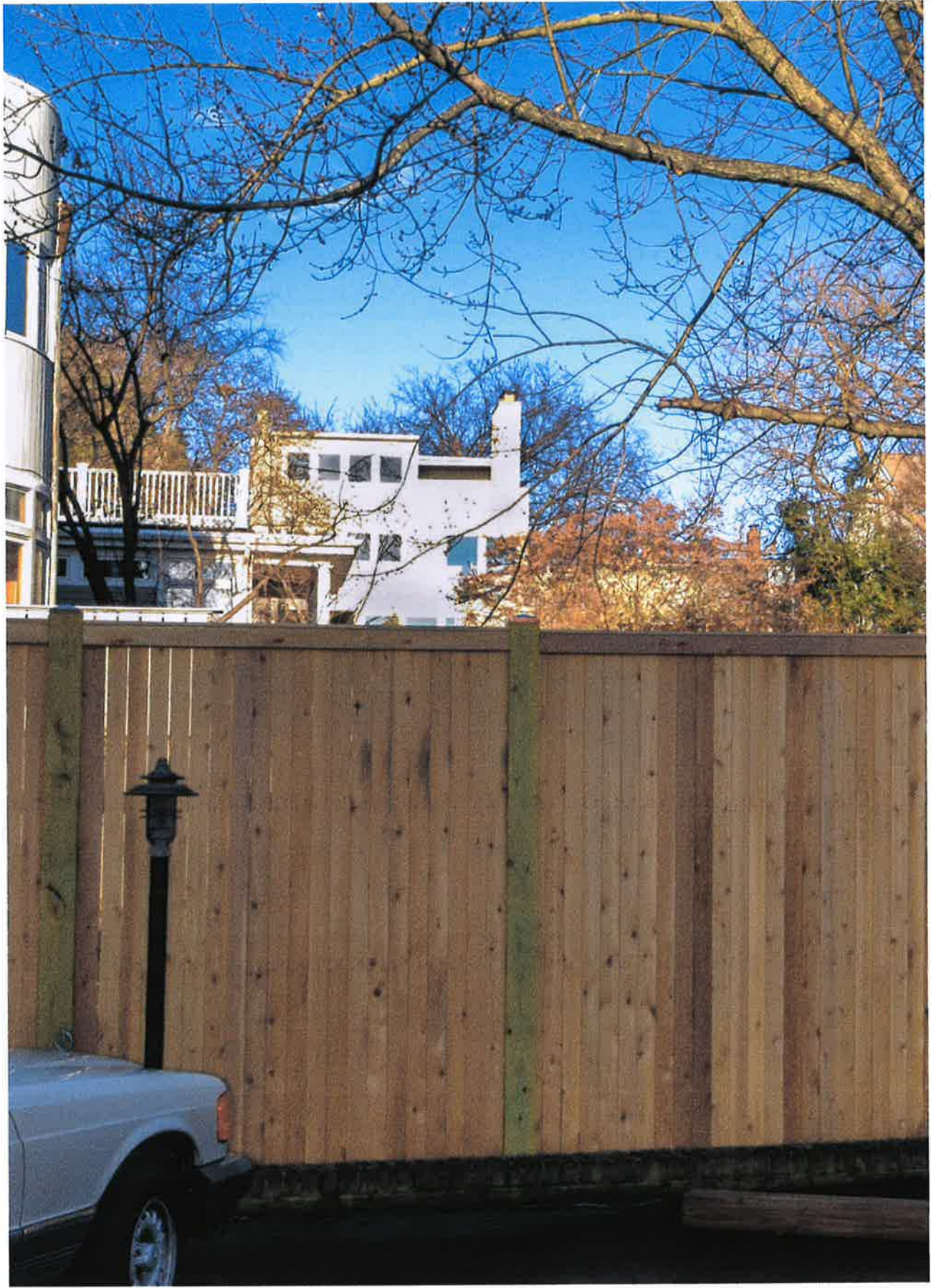
95 SHIPWRIGHT ST. - THIRD FLOOR BECK AT FAMILY ROOM 1/24/18 [14]



95 SHIPWRIGHT ST. - THIRD FLOOR DECK AT FIREPLACE

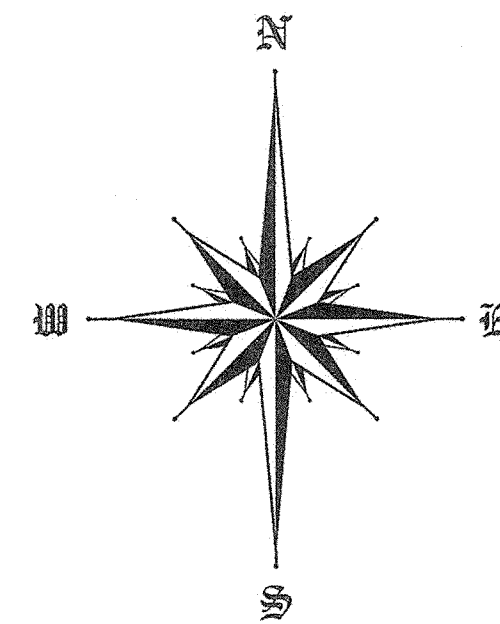
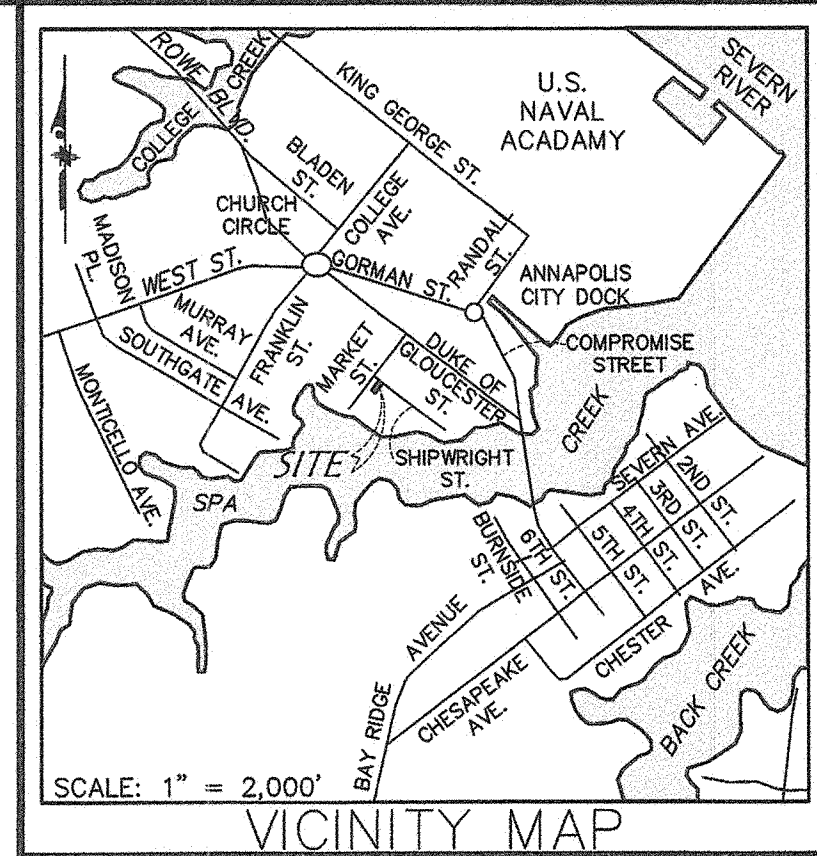
1/24/18

15



95 SHIPWRIGHT ST. - REAR ELEVATION VIEWED
FROM MARKET QUAY

1/24/18



Direction of photo
Photo number



Aerial Of Vicinity

LEGEND:

	HARDWOOD TREE		EVERGREEN TREE
	WELL		SEWER MANHOLE
	UTILITY POLE		STORM DRAIN INLET
	FIRE HYDRANT		IPF = IRON PIPE FOUND
	WATER VALVE		BNCF = BAR & CAP FOUND
	SEWER CLEANOUT (CO)		IBF = IRON BAR FOUND
	WATER METER (WM)		BNCS = BAR & CAP SET
	STORM DRAIN MANHOLE		LP = LIGHT POLE
	A/C		ICV = IRRIGATION CONTROL VALVE

SURVEYOR'S CERTIFICATION

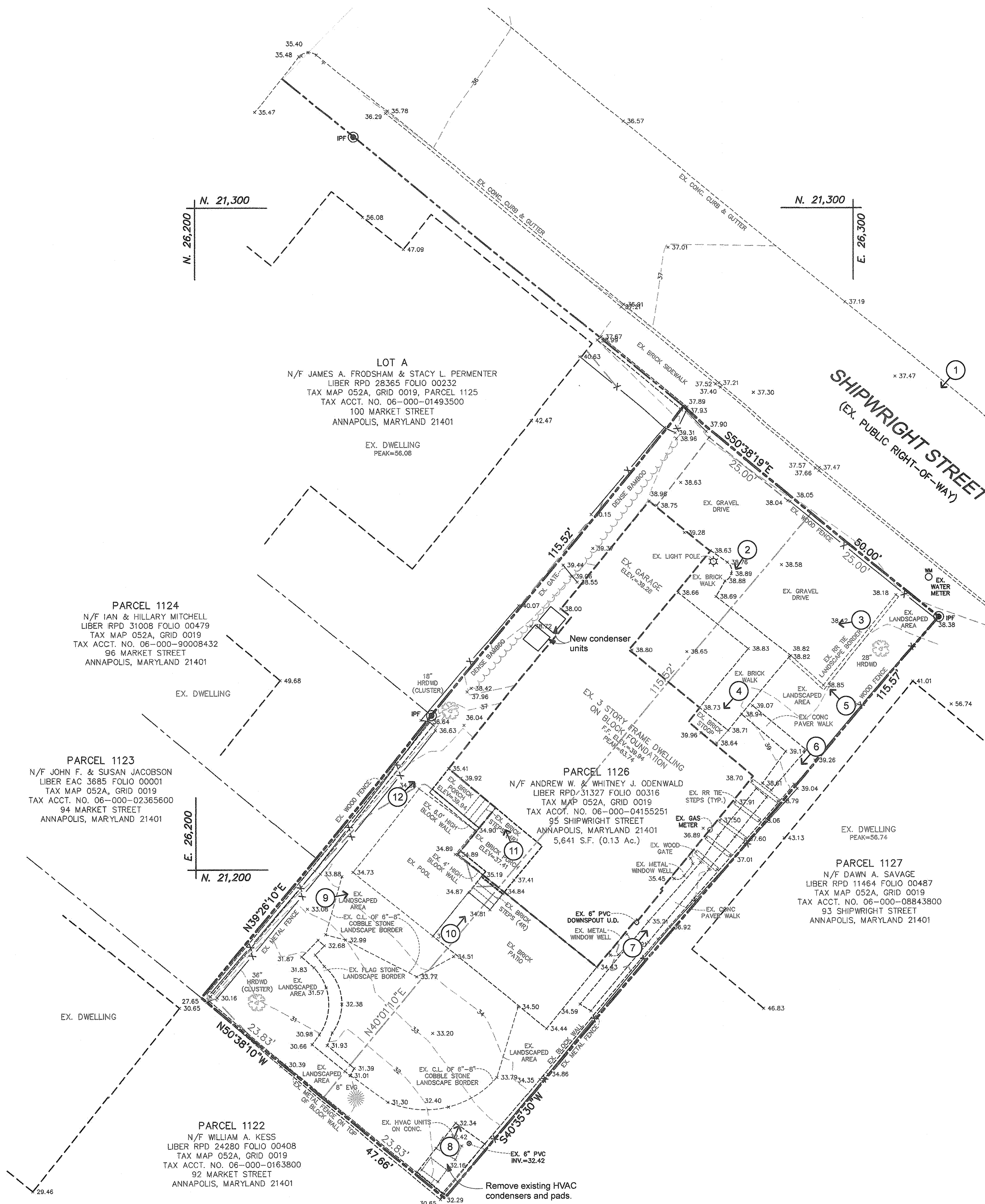
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE TOPOGRAPHIC SURVEY AS SHOWN HEREON, HAS BEEN PERFORMED BY ACCEPTED FIELD PRACTICES, THAT IT MEETS THE MARYLAND MINIMUM STANDARDS FOR SURVEYORS SECTION 04 FOR FIELD RUN TOPOGRAPHIC SURVEYS, AS ADOPTED ON JUNE 5, 1995, THAT THE PROPERTY LINES SHOWN HEREON HAVE BEEN TAKEN FROM FIELD EVIDENCE, AND/OR AVAILABLE DEEDS AND PLATS, AND SHOULD NOT BE CONSTRUED TO BE REPRESENTATIVE OF THE ACCURACY OF THE BOUNDARY SURVEY. THIS IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT REFLECT ENCUMBRANCES, DEDICATIONS AND/OR RESTRICTIONS WHICH MAY EXIST AND COULD POTENTIALLY BE REVEALED THROUGH SUCH A THOROUGH TITLE SEARCH.

RAYMOND D. FOWLER
PROFESSIONAL LAND SURVEYOR
MD. REG. NO. 21134 EXPIRES JULY 2, 2018
DATE OF LAST FILE NOTES: NOVEMBER 2, 2017

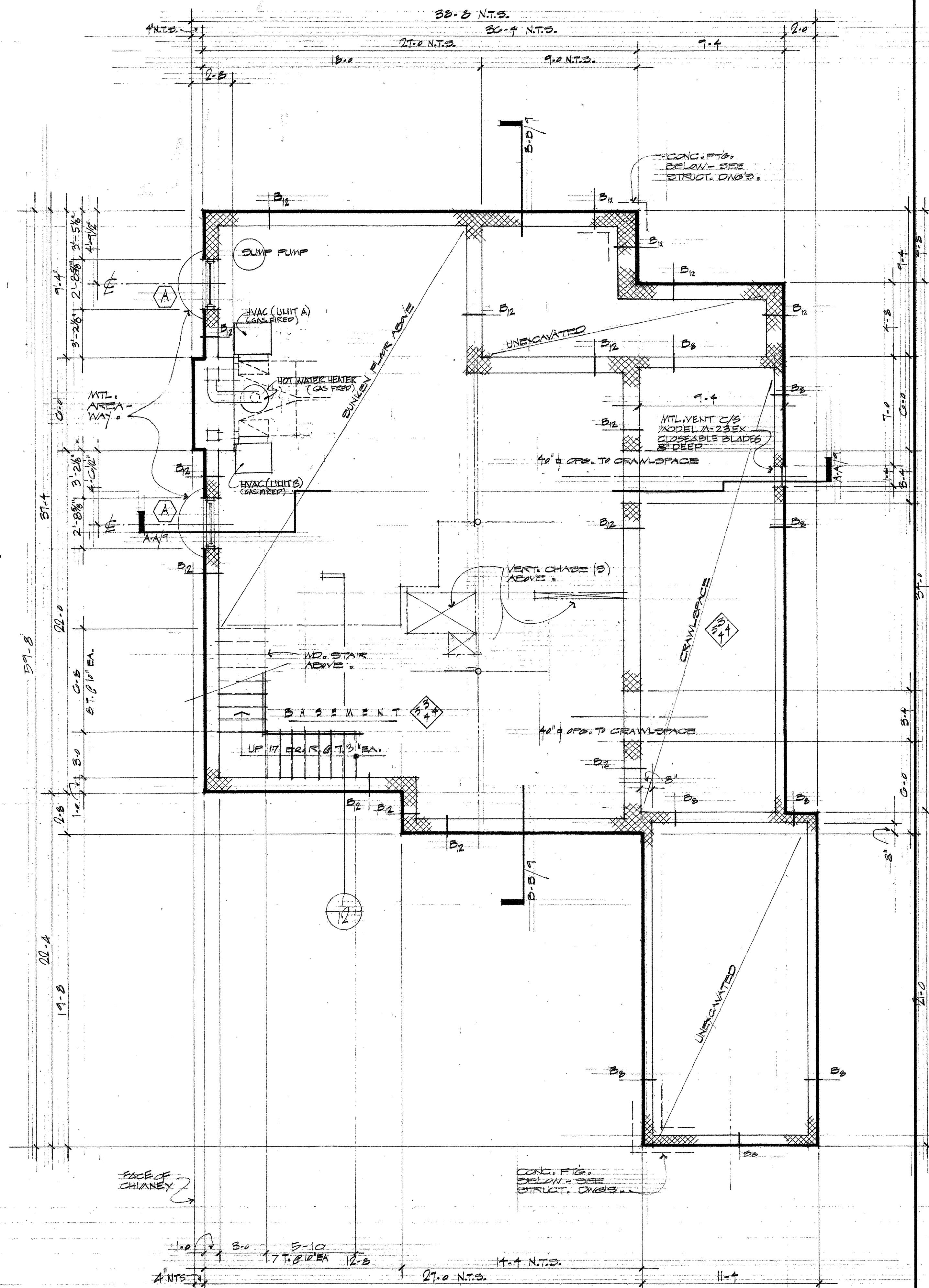
DATE: _____

NOTES:

- BEARINGS AND HORIZONTAL CONTROL SHOWN HEREON ARE BASED ON CITY OF ANNAPOLIS CONTROL MONUMENT 19991. BEARINGS MAY NOT REFLECT THOSE CALLED OUT IN SUBJECT DEEDS.
- VERTICAL CONTROL IS BASED ON C.O.A. MONUMENT NO. 19991 (ELEV.=32.75 NGVD 29 DATUM)
- DLA RECOMMENDS THAT A BOUNDARY SURVEY BE PERFORMED ON THIS PROPERTY.

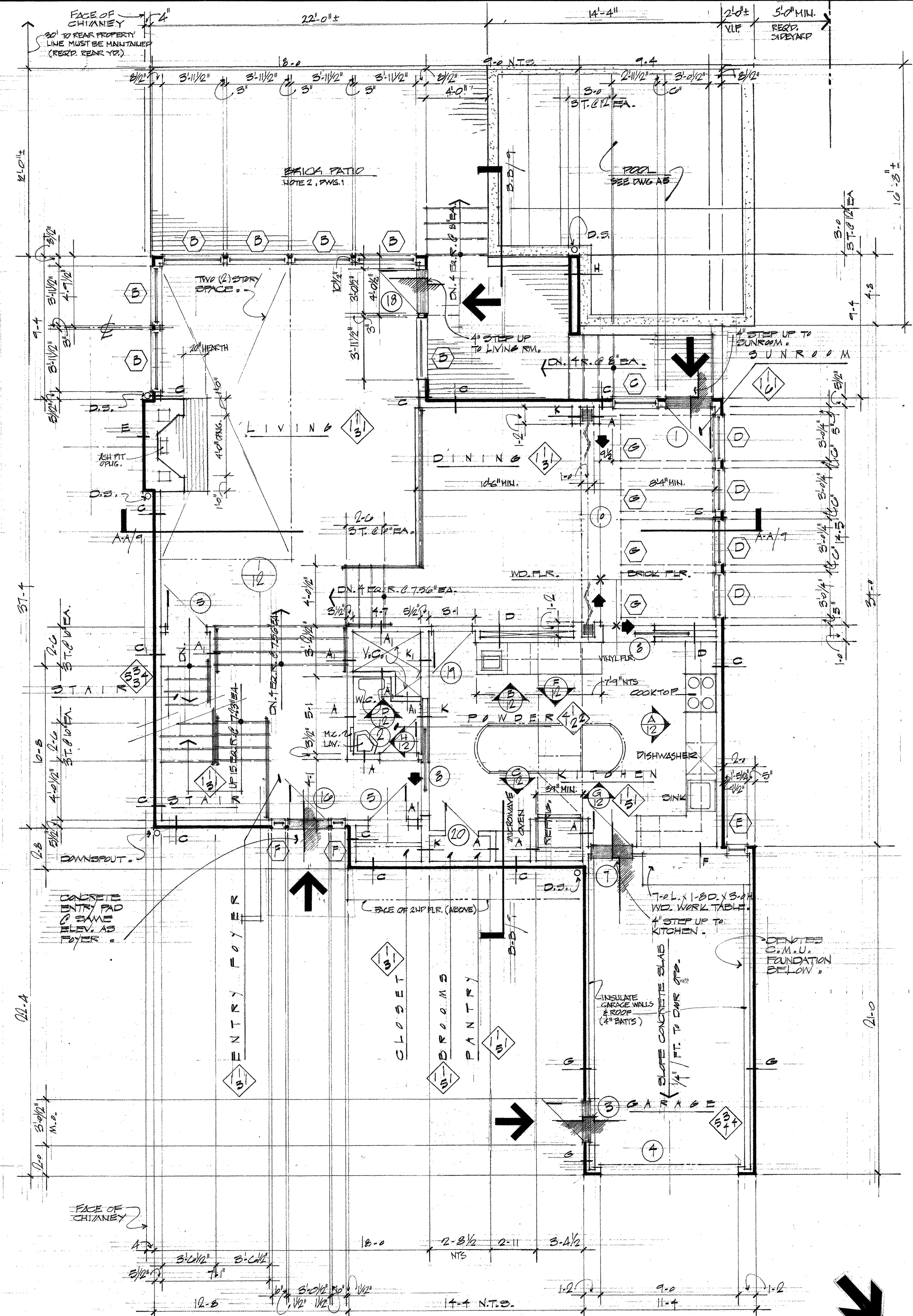


DESIGNED: RDF ORIG. DATE: DEC. 02, 2017 MODIFIED BY: DATE: CADD DWG #: S021717-Survey DLA PROJECT #: S021717	REVISIONS TO APPROVED PLANS No. DATE BY DESCRIPTION	 Drum, Loyka & Associates, LLC CIVIL ENGINEERS - LAND SURVEYORS 1410 Forest Drive, Suite 35 Annapolis, Maryland 21403 Phone: 410-280-3122 Fax: 410-280-1952 www.drumloyka.com	OWNER: MR. & MRS. ANDREW W. ODENWALD 95 SHIPWRIGHT STREET ANNAPOLIS, MARYLAND 21401	TOPOGRAPHIC & LOCATION SURVEY 95 SHIPWRIGHT STREET CITY OF ANNAPOLIS TAX ACCT. NO. 06-000-04155251 TAX MAP 052A GRID 0019 PARCEL 1126 DISTRICT 6TH ANNE ARUNDEL COUNTY, MARYLAND	SCALE: 1"=10' DATE: DEC. 03, 2017 PROJ. NO: S021717 SHEET 1 OF 1
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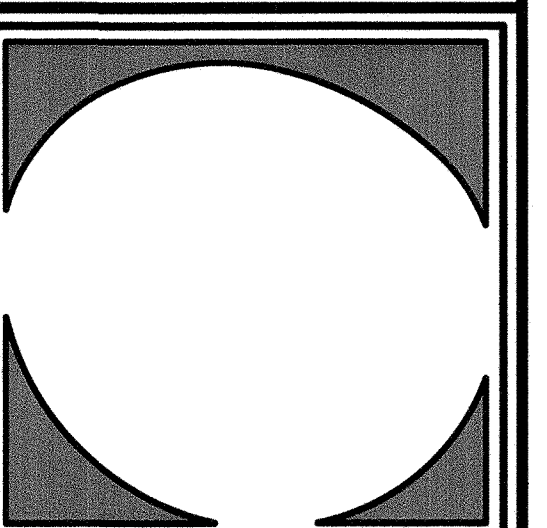
Existing Conditions - Basement/Foundation Plan

Scale: 1/4" = 1'-0"



Existing Conditions - 1st Floor Plan

Scale: 1/4" = 1'-0"



Fourth Street Design Studio, Inc.
421 Fourth Street
Annapolis, Maryland 21403-2503
410-267-9659
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301-858-5726
Gary Schwerzler, Architect

95 Shipwright

95 Shipwright St.
Annapolis, MD

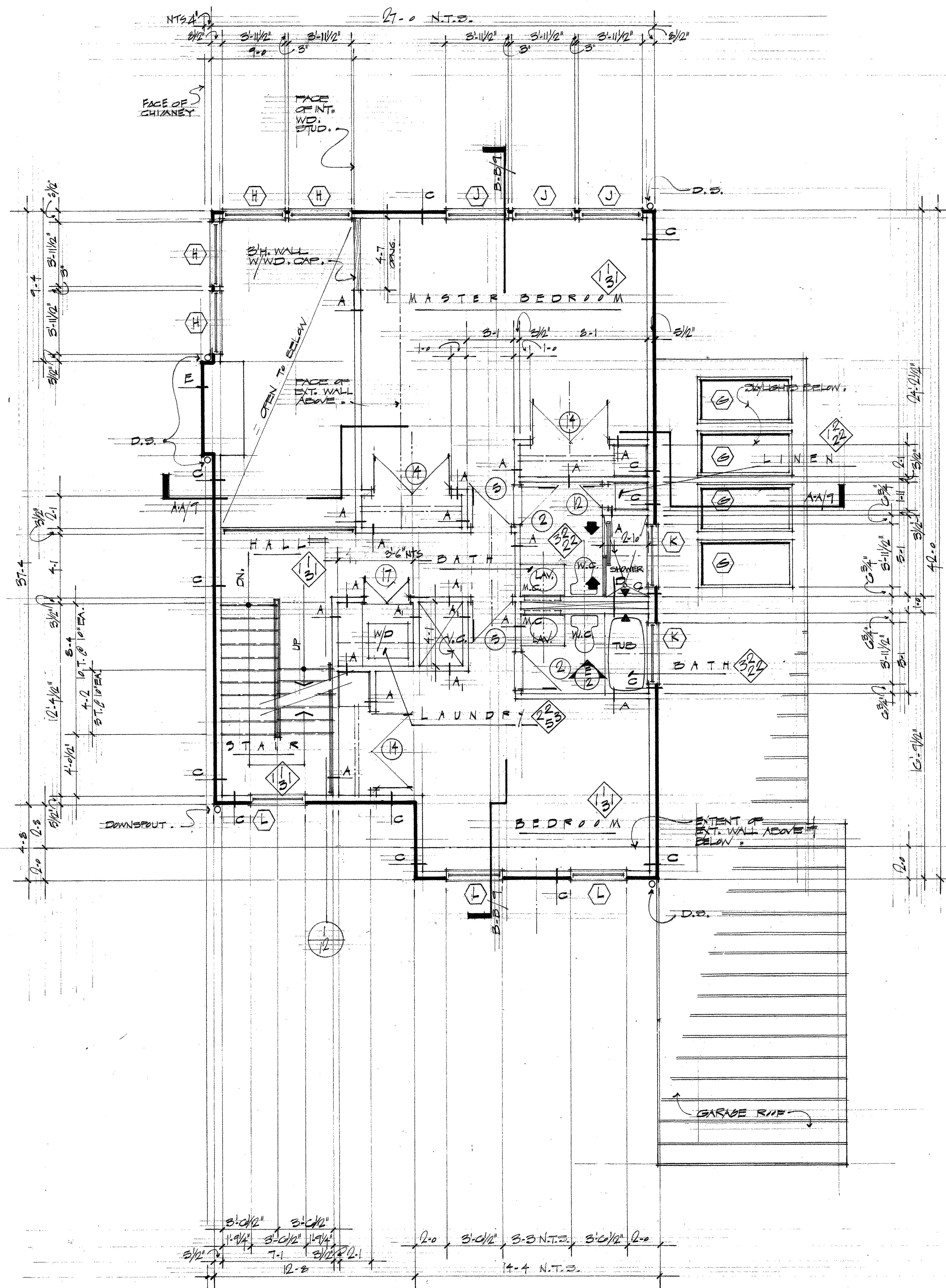
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Existing Conditions - Basement/
Foundation & 1st Floor Plan

1/24/18

1804

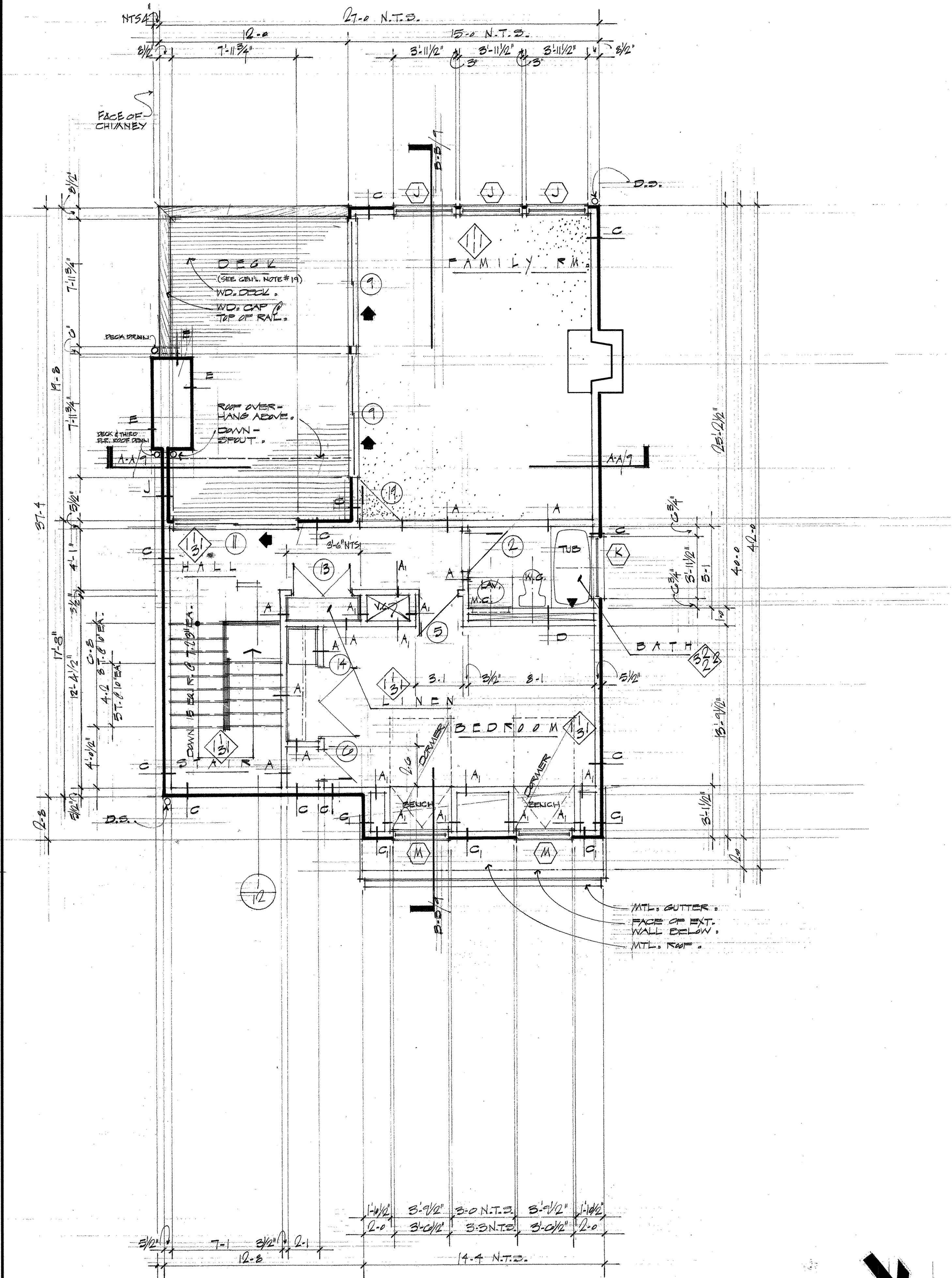
EC-1



Existing Conditions - 2nd Floor Plan

Scale: 1/4" = 1'-0"

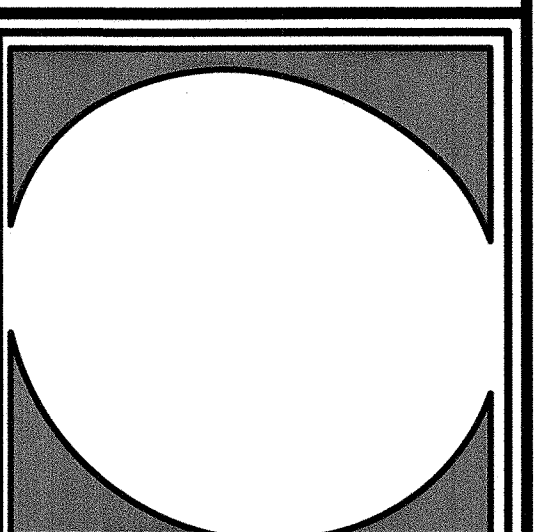
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Existing Conditions - 3rd Floor Plan

Scale: 1/4" = 1'-0"

2



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410-267-9659
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95 Shipwright

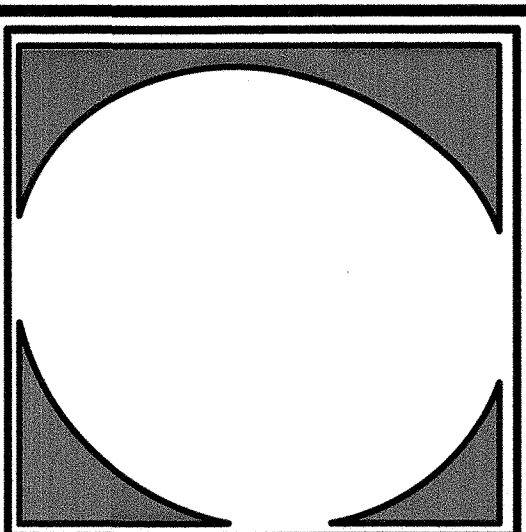
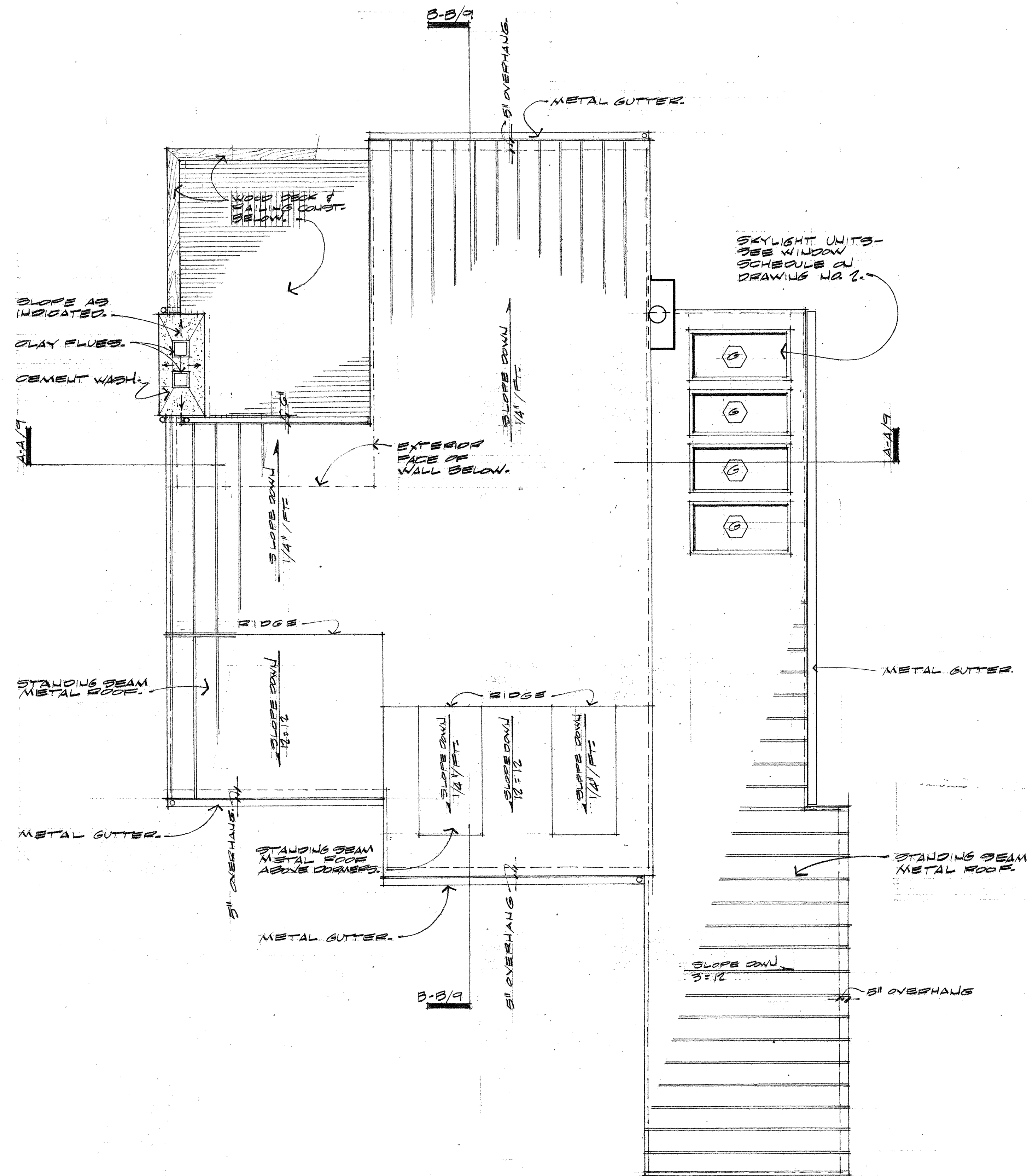
95 Shipwright St.
Annapolis, MD

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Existing Conditions - 2nd & 3rd Floor Plan

1/24/18
1804

EC-2



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95 Shipwright

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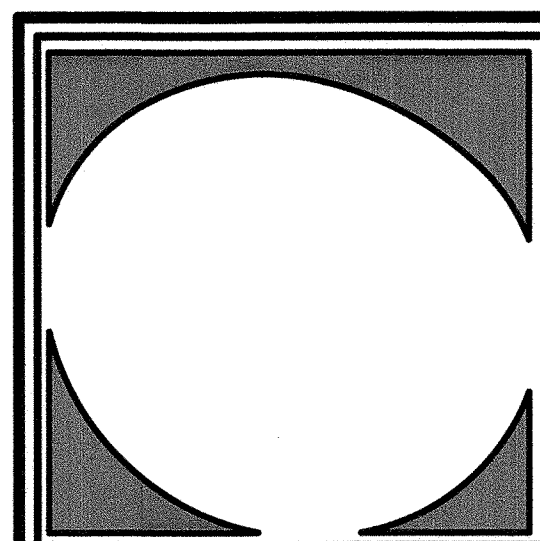
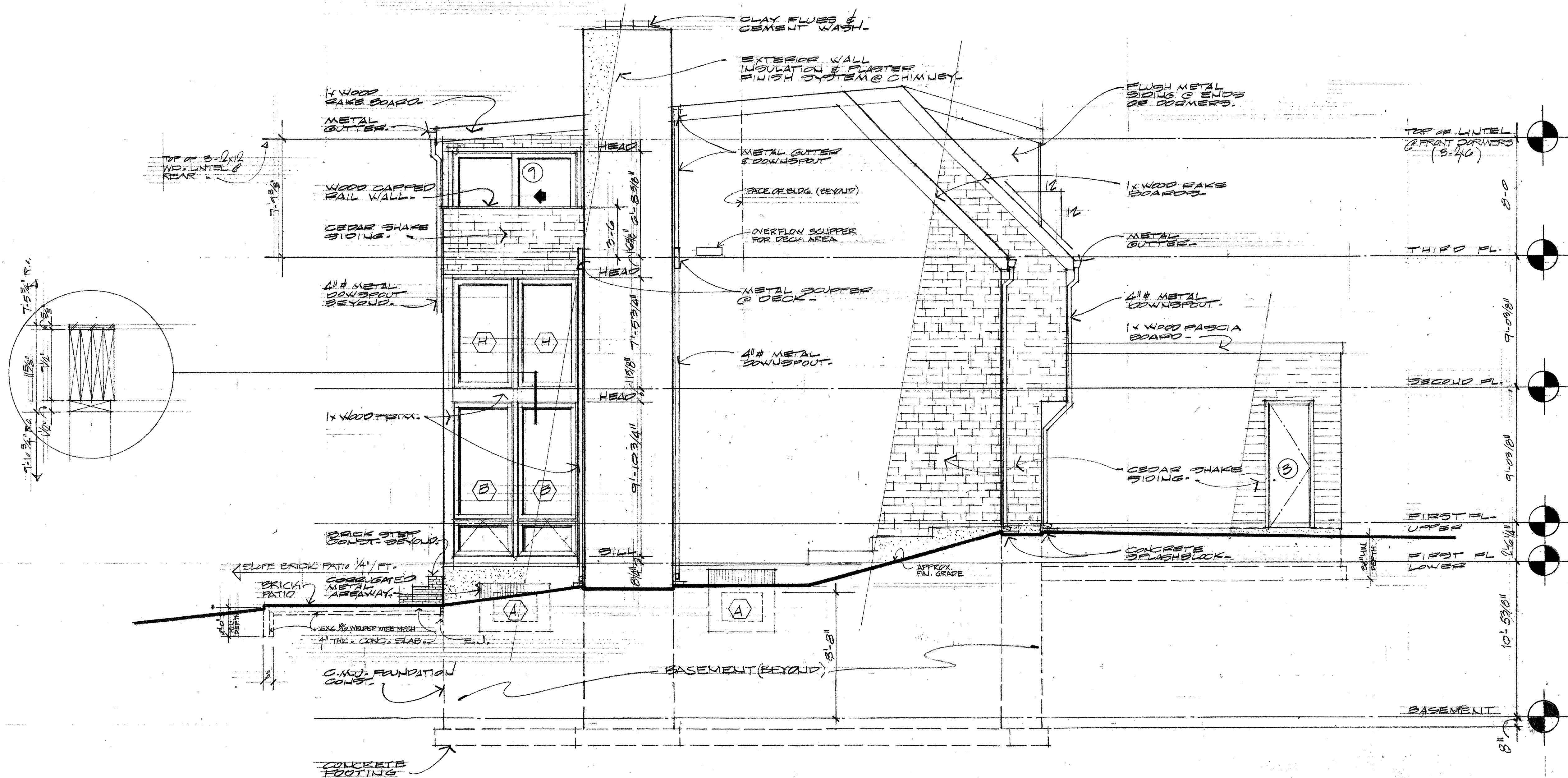
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Existing Conditions - Roof Plan

1/24/18

1804

EC-3



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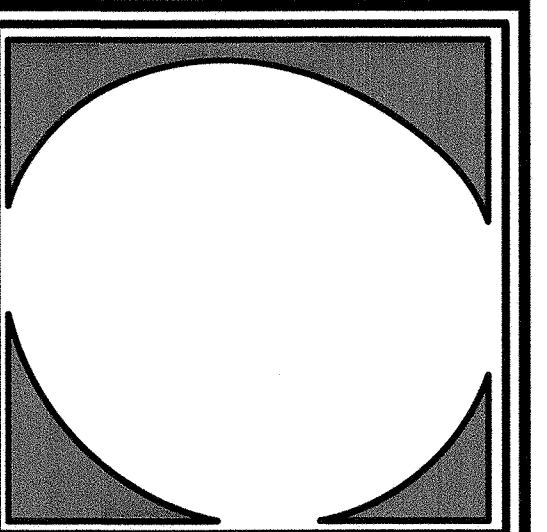
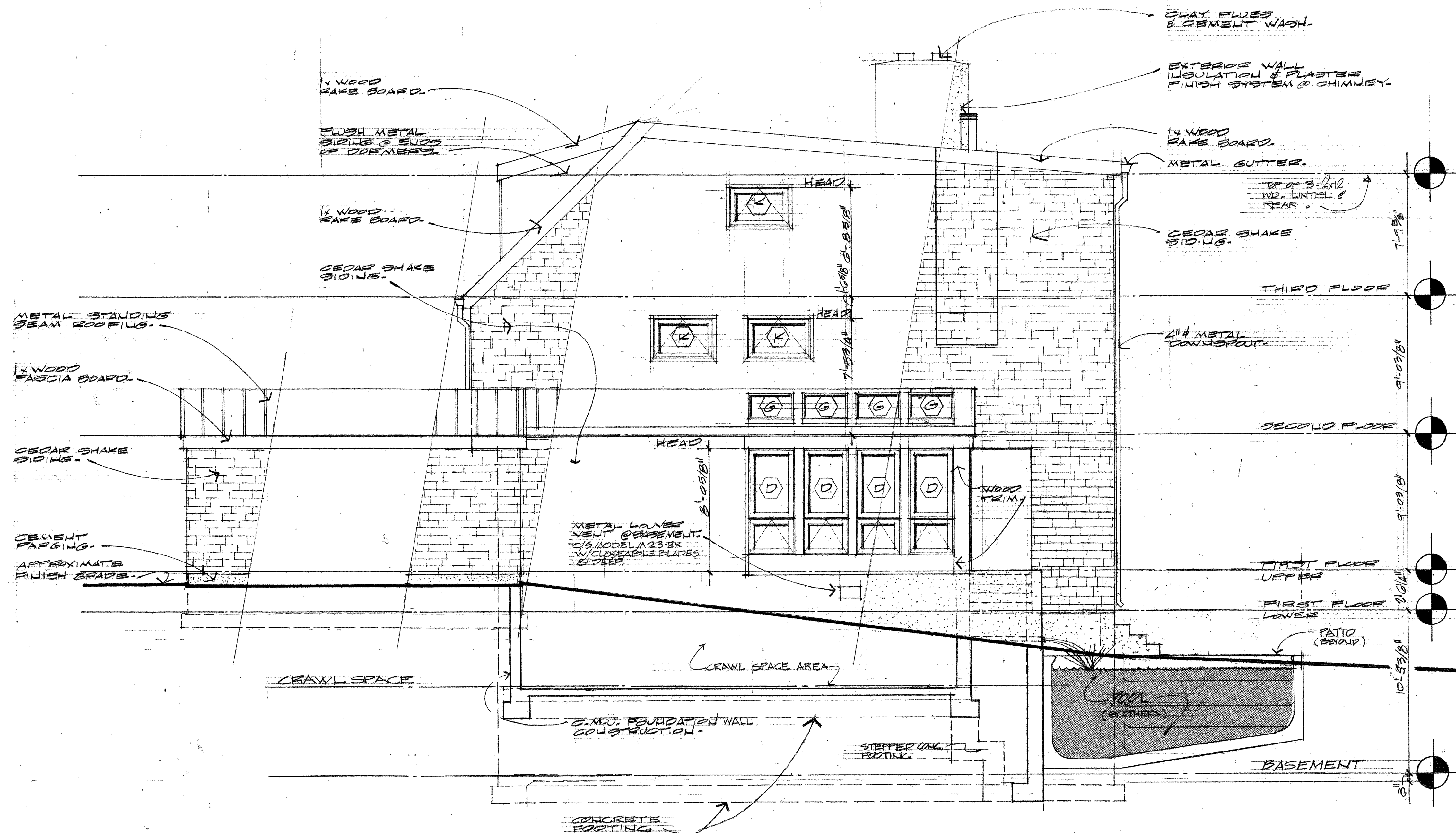
95 Shipwright

95 Shipwright St.
Annapolis, MD

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Existing Conditions - East Elevation

1/24/18
1804
EC-5



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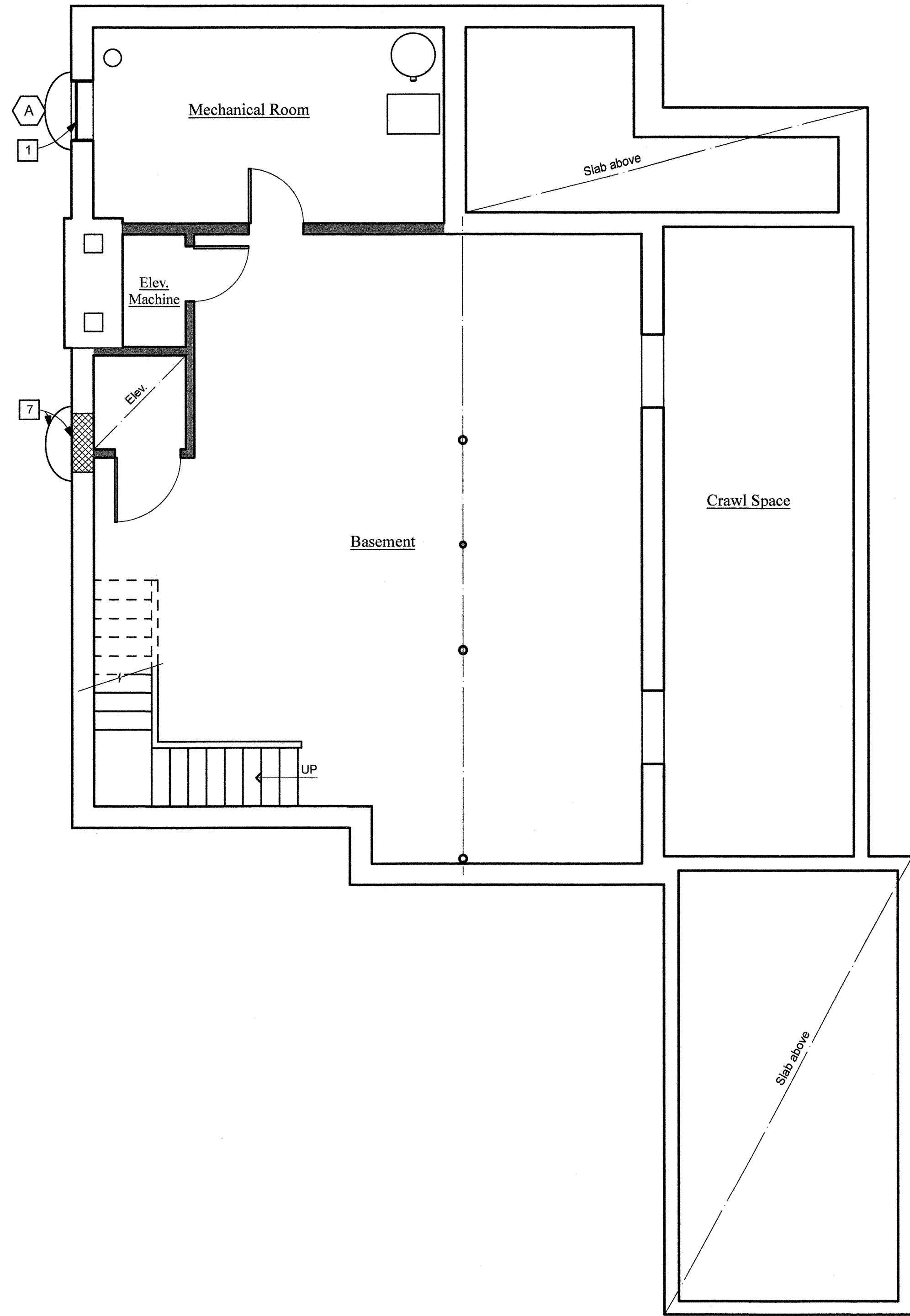
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Existing Conditions - West Elevation

1/24/18

1804

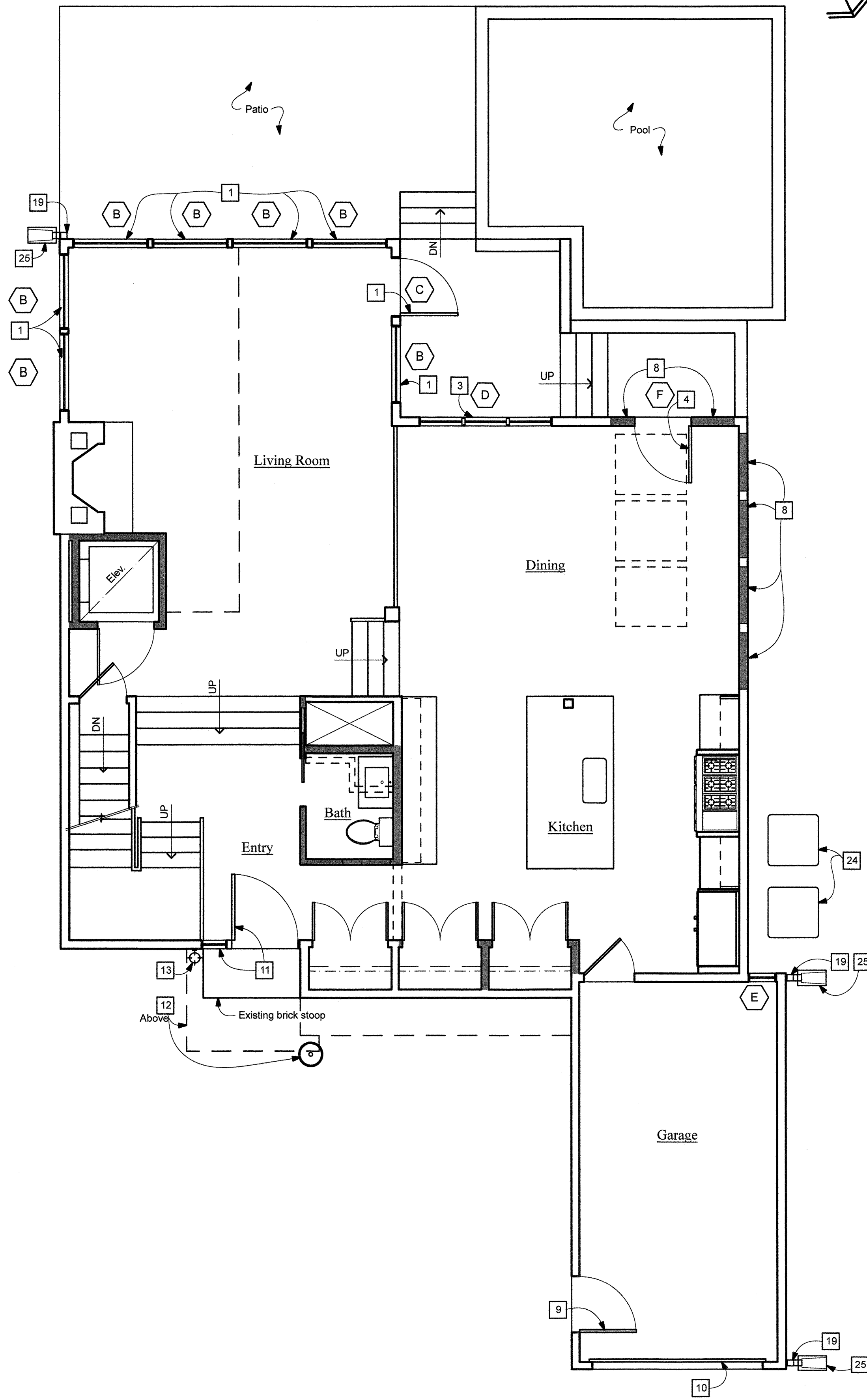
EC-6



Proposed - Basement/Foundation Plan

Scale: 1/4" = 1'-0"

1



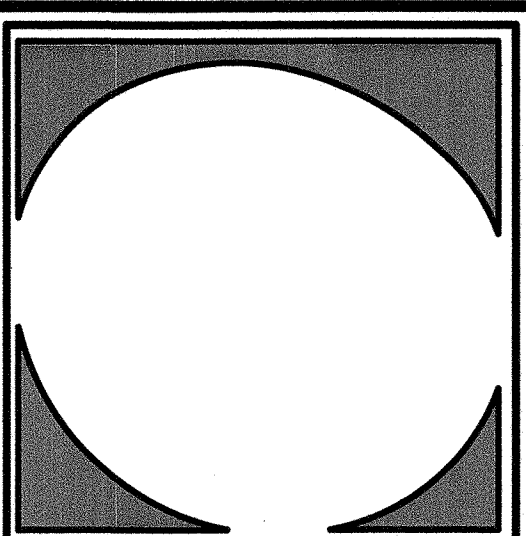
Proposed - 1st Floor Plan

Scale: 1/4" = 1'-0"

2

Drawing Notes

- DRAWING NOTES**
- New window/door in existing removed window/door location matching existing window/door size. Provide new exterior painted wood trim to match existing thickness and width.
 - New window in existing removed window location; reduction in window size. Provide new exterior painted wood trim to match existing thickness and width.
 - New window in new location. Provide new exterior painted wood trim to match existing thickness and width.
 - New French door in area of removed existing French door and adjacent window. Provide new exterior painted wood trim to match existing thickness and width.
 - New sliding patio door in existing removed sliding patio door location; increase in door size. Provide new exterior painted wood trim to match existing thickness and width.
 - New curb mounted flat glass skylight in existing removed skylight location; reduction in skylight size.
 - New concrete masonry wall infill at existing removed basement window. Concrete masonry thickness to match existing. Provide tie-in to existing masonry. Provide waterproofing and drain-board. Infill window well with drainable gravel fill.
 - New exterior wall infill at existing removed window/door. New infill walls shown shaded on floor plans.
 - Exterior Finish: Cedar wood shingle siding; thickness, style, and exposure to match existing. Wood species and finish to match existing.
 - Weather Resistive Barrier Atop Exterior Sheathing:
 - WeatherSmart Housewrap by Fortifiber Building Systems Group or equal. Secure to framing and seal in accordance with manufacturers recommendations.
 - Perimeter of Window and Door Openings: Provide 40 mil FortiFlash self-adhering membrane flashing/wrap by Fortifiber Building Systems Group or equal at perimeter of all window and door openings. Install per manufacturer's recommendations.
 - Exterior Sheathing: 1/2-inch exterior grade plywood sheathing.
 - Framing: 2x6 wood studs spaced no greater than 16-inches on center.
 - Insulation In Stud Cavity: R-21 glass fiber batts with vapor barrier facing.
 - Interior Sheathing:
 - 1/2-inch thick regular type gypsum board.
 - 1/2-inch thick moisture resistant type gypsum board in bathrooms.
 - New painted wood garage passenger door in location of existing; match existing size.
 - Manufacturer: Simpson
 - Size: 3'-0" x 8'-0" x 1&3/4"
 - Model: 762 Exterior Shaker 4 Panel
 - Wood Species: Mahogany
 - Provide new exterior painted wood trim to match existing thickness and width.
 - New painted wood garage overhead door in location of existing; match existing size.
 - Manufacturer: Clopay
 - Size: 9'-0" x 8'-0" x 1&3/4"
 - Series: 1
 - Panel Design: 12
 - Rectangular Upper Window Design: REC13
 - Handle Design: Ring Door Knockers
 - New painted wood front entry door with new sidelight in location of existing.
 - Manufacturer: Simpson
 - Door:
 - Size: 3'-6" x 8'-0" x 1&3/4"
 - Model: 6803 Craftsman Two Panel - Three Lite (SDL)
 - Wood Species: Mahogany
 - Sidelight:
 - Size: 1'-2" x 8'-0" x 1&3/4"
 - Model: 6170 Craftsman Sidelight
 - Wood Species: Mahogany
 - Provide new exterior painted wood trim to match existing thickness and width.
 - New front entry roof cover:
 - Roofing: Pre-formed and field painted standing seam metal roofing with 1-inch high seams.
 - Gutter: 5-inch galvanized painted box gutter to match existing.
 - Downspout: Black iron rain chain with 2-inch links with 12-inch diameter black iron pot receptacle with loop.
 - Cable End: Painted wood trim with painted 1x6 vertical board panel.
 - Fascia Board: Painted wood.
 - Soffit: Stained 1x4 v-groove tongue and groove wood to match existing soffit at existing adjacent floor overhang.
 - New front entry exterior light fixture: Charlemagne 23&1/2" High Aged Pewter Outdoor Wall Light by Troy Lighting.
 - New 5-inch galvanized painted box gutter to match existing with 4-inch square galvanized painted downspout discharging onto precast concrete splash-block.
 - New roof infill at existing removed skylight and new reduced skylight replacements. Roof construction and standing seam metal roofing to match existing adjacent.
 - New elevator shaft wall construction at third floor exterior deck to underside of existing roof overhang:
 - Exterior Finish: 5/4 wood trim; painted.
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 - Fixed windows Q and R are in the elevator shaft walls.
 - New 4&1/4" +/- roof extension over new elevator shaft construction. Roof extension construction including roofing, fascia, and soffit to match existing.
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 - New 4-inch square galvanized painted downspout to match existing.
 - New metal cricket at existing chimney. Flash into existing masonry chimney.
 - New 3/4" x 5&1/2" lpe decking over modified waterproof deck construction.
 - New stainless steel cable rail system guard rail at removed third floor deck solid wall guard rail:
 - Cable: 3/16" diameter 1x19 stainless steel cable.
 - Fittings: Quick-Connect Lag and Pivot fittings.
 - Center Post: 4x4 cedar post; painted.
 - Top Rail: 1&1/2" x 4&1/2" wide painted cedar with tapered top.
 - Provide Cable Stabilizer Post between center post and end of top rail at house and opposite guardrail wall to remain.
 - New ARS-2 fluid applied partially reinforced membrane roof coating system by Acrymax Technologies, Inc. over existing low pitched flat seam metal roofing.
 - New mechanical condenser units on pad.
 - New precast concrete splash-block.



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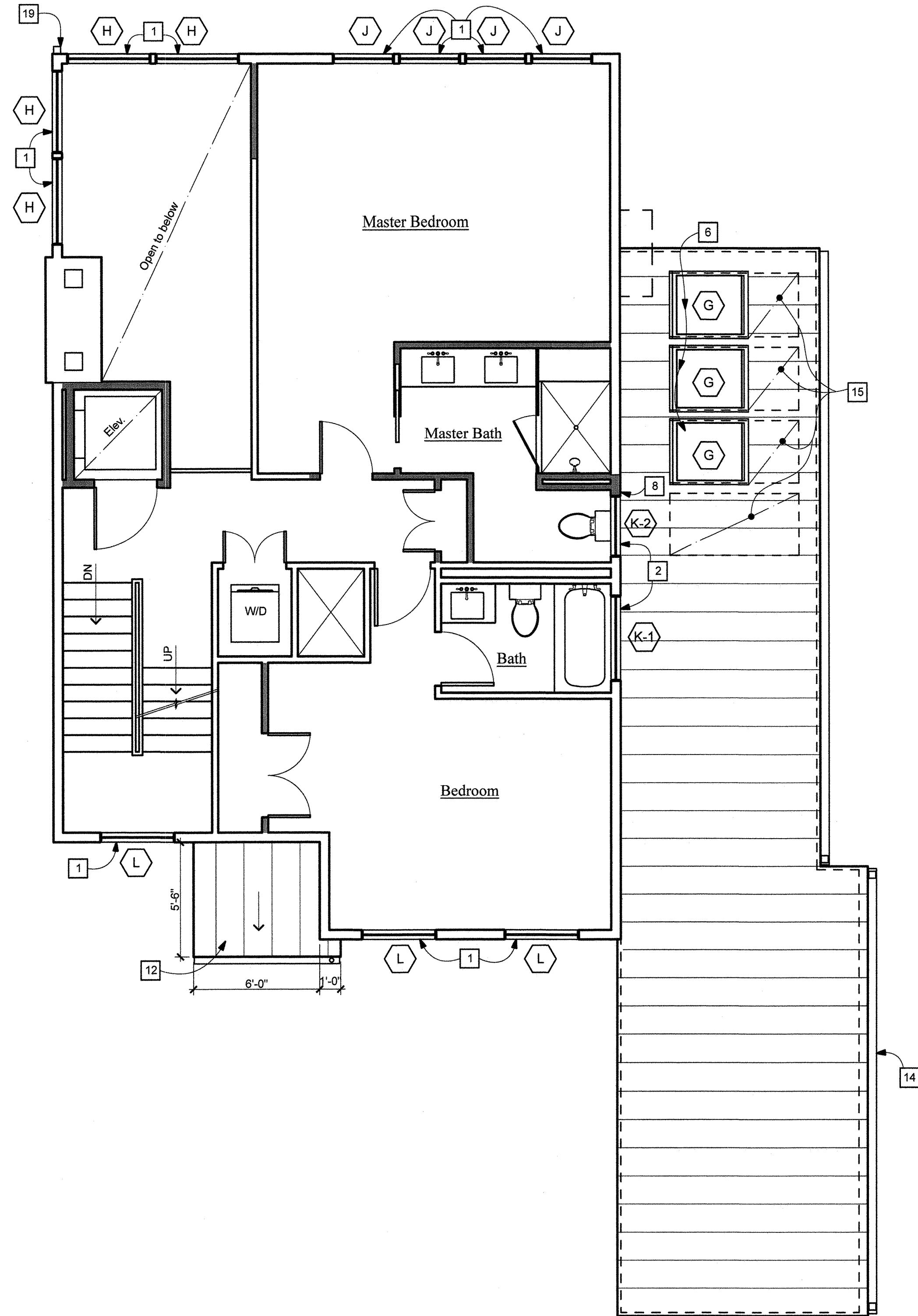
Proposed - Basement, Proposed - 1st Floor Plan, Drawing Notes

1/24/18

1804

A-1

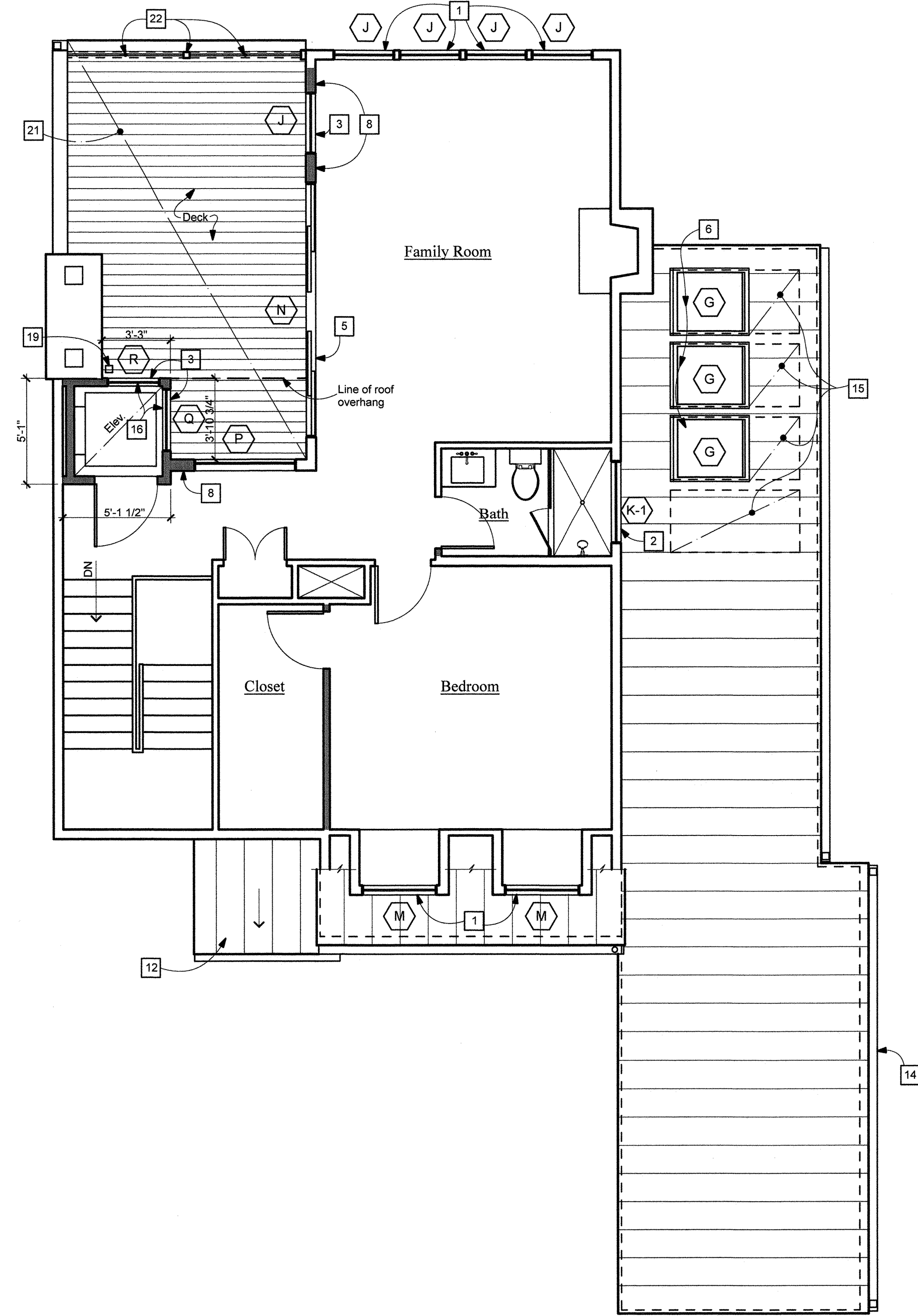
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Proposed - 2nd Floor Plan

Scale: 1/4" = 1'-0"

1



Proposed - 3rd Floor Plan

Scale: 1/4" = 1'-0"

2

Drawing Notes

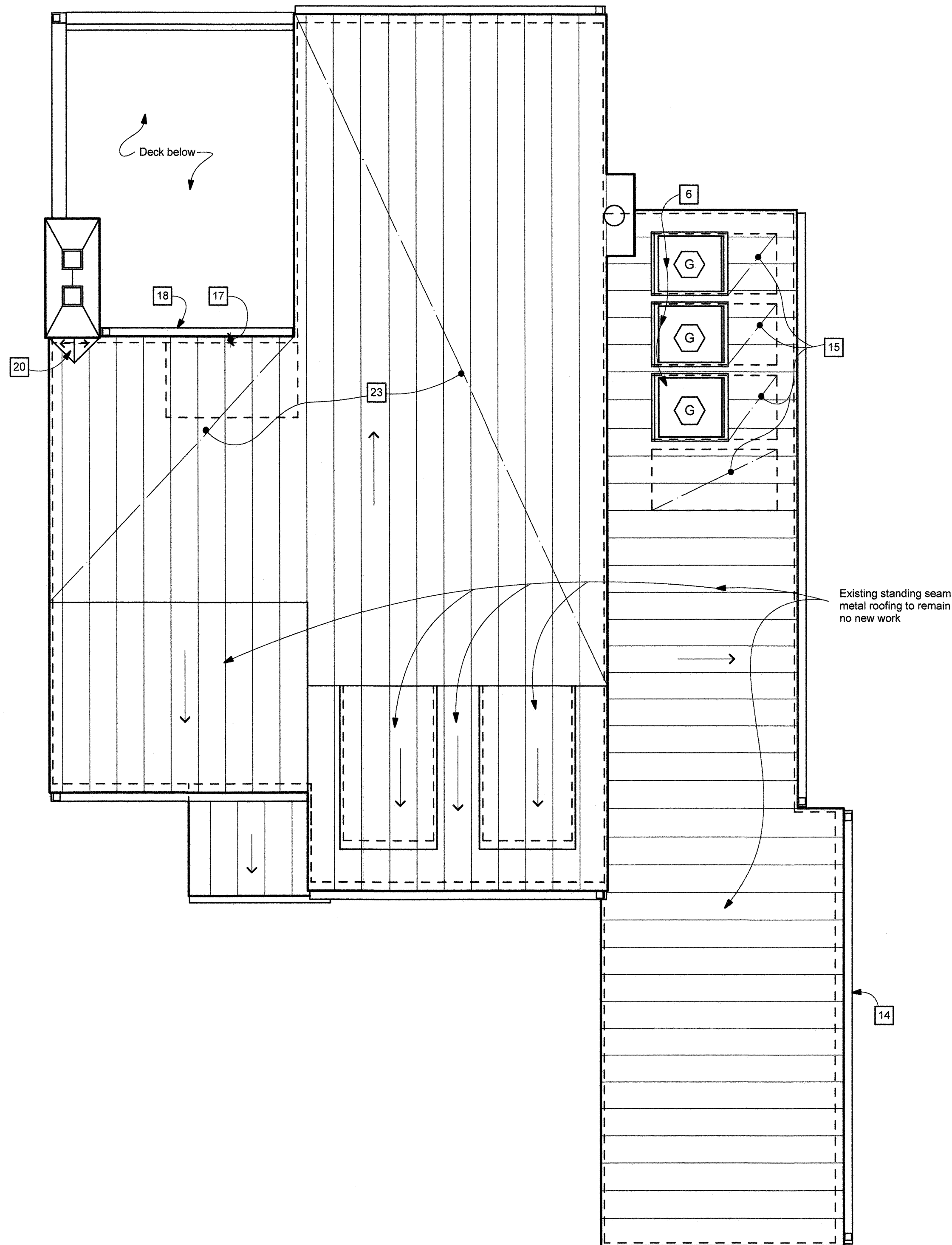
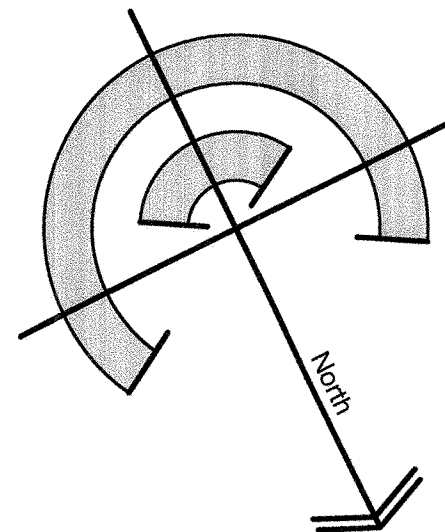
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DRAWING NOTES

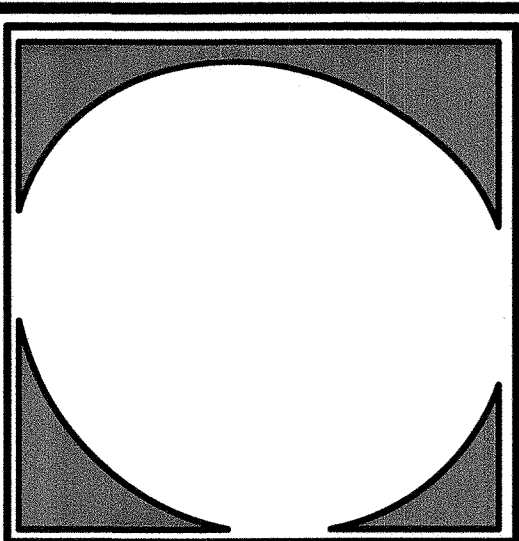
1. New window/door in existing removed window/door location matching existing window/door size. Provide new exterior painted wood trim to match existing thickness and width.
2. New window in existing removed window location; reduction in window size. Provide new exterior painted wood trim to match existing thickness and width.
3. New window in new location. Provide new exterior painted wood trim to match existing thickness and width.
4. New French door in area of removed existing French door and adjacent window. Provide new exterior painted wood trim to match existing thickness and width.
5. New sliding patio door in existing removed sliding patio door location; increase in door size. Provide new exterior painted wood trim to match existing thickness and width.
6. New curb mounted flat glass skylight in existing removed skylight location; reduction in skylight size.
7. New concrete masonry wall infill at existing removed basement window. Concrete masonry thickness to match existing. Provide tie-in to existing masonry. Provide waterproofing and drain-board. Infill window well with drainable gravel fill.
8. New exterior wall infill at existing removed window/door. New infill walls shown shaded on floor plans.
 - a. Exterior Finish: Cedar wood shingle siding; thickness, style, and exposure to match existing. Wood species and finish to match existing.
 - b. Weather Resistive Barrier Atop Exterior Sheathing:
 - 1) WeatherSmart Housewrap by Fortifiber Building Systems Group or equal. Secure to framing and seal in accordance with manufacturers recommendations.
 - 2) Perimeter of Window and Door Openings: Provide 40 mil FortiFlash self-adhering membrane flashing/wrap by Fortifiber Building Systems Group or equal at perimeter of all window and door openings. Install per manufacturer's recommendations.
 - c. Exterior Sheathing: 1/2-inch exterior grade plywood sheathing.
 - d. Framing: 2x6 wood studs spaced no greater than 16-inches on center.
 - e. Insulation In Stud Cavity: R-21 glass fiber batts with vapor barrier facing.
 - f. Interior Sheathing:
 - a. 1/2-inch thick regular type gypsum board.
 - b. 1/2-inch thick moisture resistant type gypsum board in bathrooms.
9. New painted wood garage passenger door in location of existing; match existing size.
 - a. Manufacturer: Simpson
 - b. Size: 3'-0" x 8'-0" x 1&3/4"
 - c. Model: 762 Exterior Shaker 4 Panel
 - d. Wood Species: Mahogany
 - e. Provide new exterior painted wood trim to match existing thickness and width.
10. New painted wood garage overhead door in location of existing; match existing size.
 - a. Manufacturer: Clopay
 - b. Size: 9'-0" x 8'-0" x 1&3/4"
 - c. Series: 1
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 - f. Handle Design: Ring Door Knockers
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 - 1) Size: 1'-2" x 8'-0" x 1&3/4"
 - 2) Model: 6170 Craftsman Sidelight
 - 3) Wood Species: Mahogany
 - d. Provide new exterior painted wood trim to match existing thickness and width.
12. New front entry roof cover:
 - a. Roofing: Pre-formed and field painted standing seam metal roofing with 1-inch high seams.
 - b. Gutter: 5-inch galvanized painted box gutter to match existing.
 - c. Downspout: Black iron rain chain with 2-inch links with 12-inch diameter black iron pot receptacle with loop.
 - d. Gable End: Painted wood trim with painted 1x6 vertical board panel.
 - e. Fascia Board: Painted wood.
 - f. Soffit: Stained 1x4 v-groove tongue and groove wood to match existing soffit at existing adjacent floor overhang.
13. New front entry exterior light fixture: Charlemagne 23&1/2" High Aged Pewter Outdoor Wall Light by Troy Lighting.
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22. New stainless steel cable rail system guard rail at removed third floor deck solid wall guard rail:
 - a. Cable: 3/16" diameter 1x19 stainless steel cable.
 - b. Fittings: Quick-Connect Lag and Pivot fittings.
 - c. Center Post: 4x4 cedar post; painted.
 - d. Top Rail: 1&1/2" x 4&1/2" wide painted cedar with tapered top.
 - e. Provide Cable Stabilizer Post between center post and end of top rail at house and opposite guardrail wall to remain.
23. New ARS-2 fluid applied partially reinforced membrane roof coating system by Acrymax Technologies, Inc. over existing low pitched flat seam metal roofing.
24. New mechanical condenser units on pad.
25. New precast concrete splash-block.

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301-858



DRAWING NOTES

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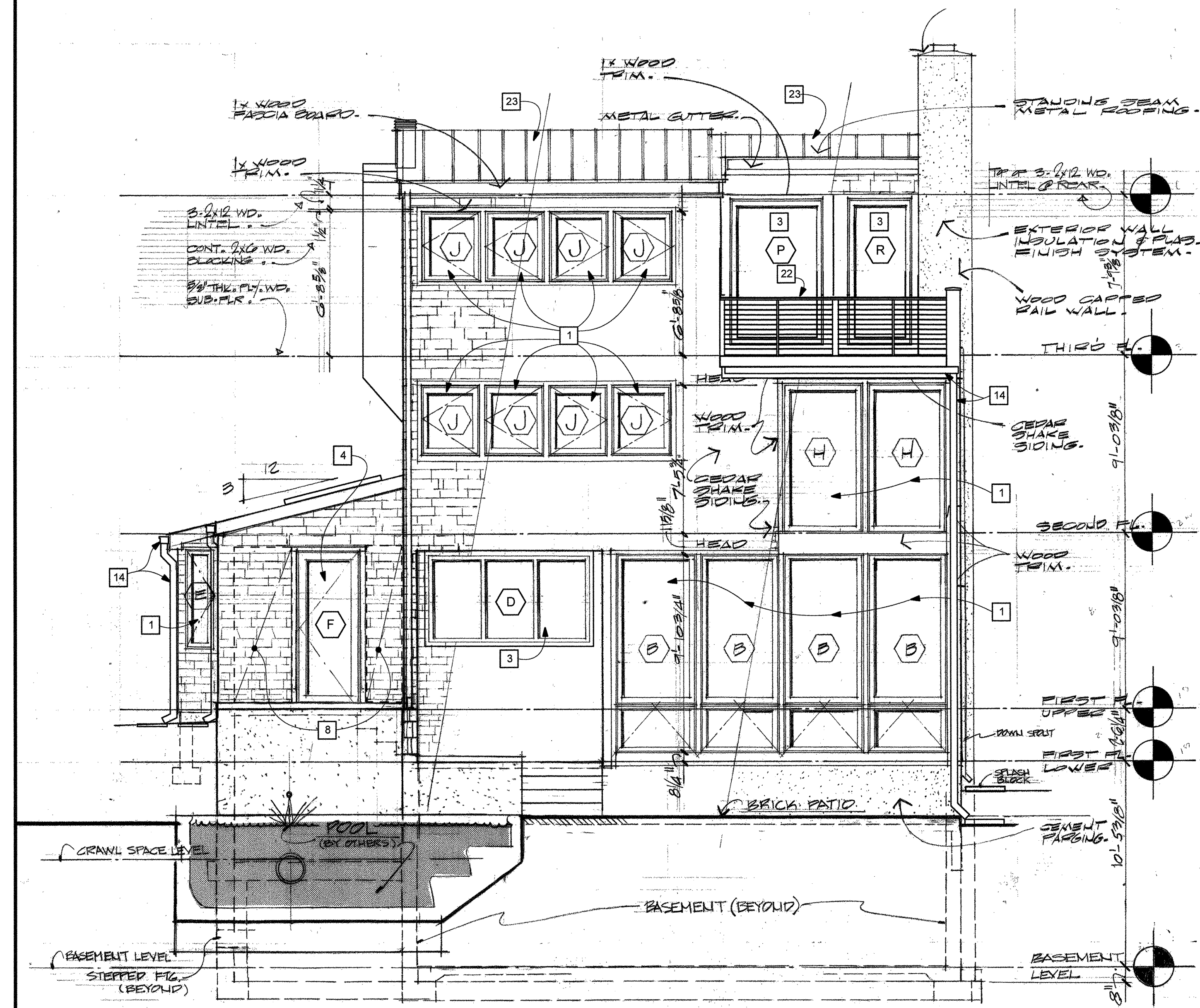
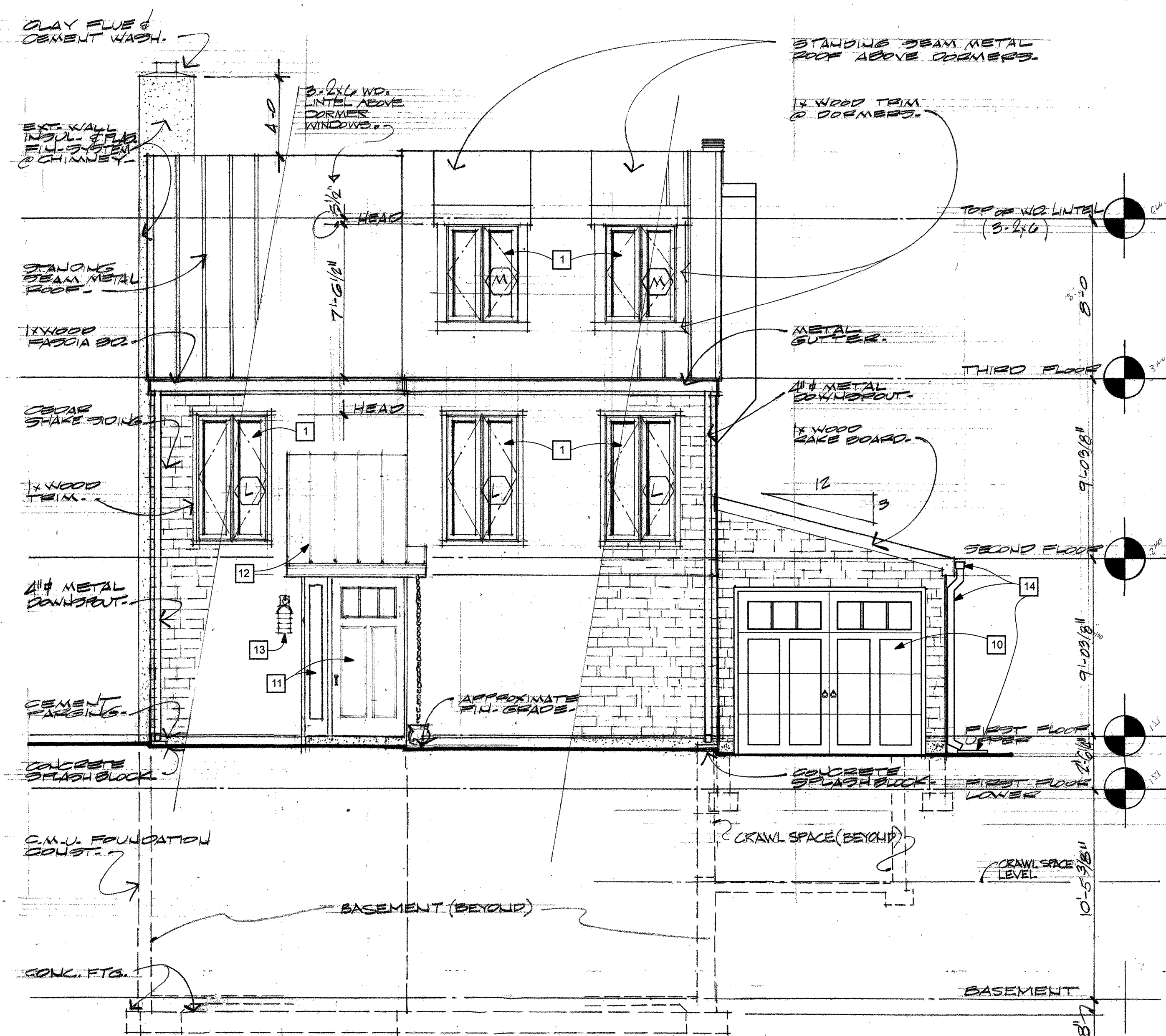
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Proposed - Roof Plan

1/24/18

1804

A-3



Proposed - North Elevation

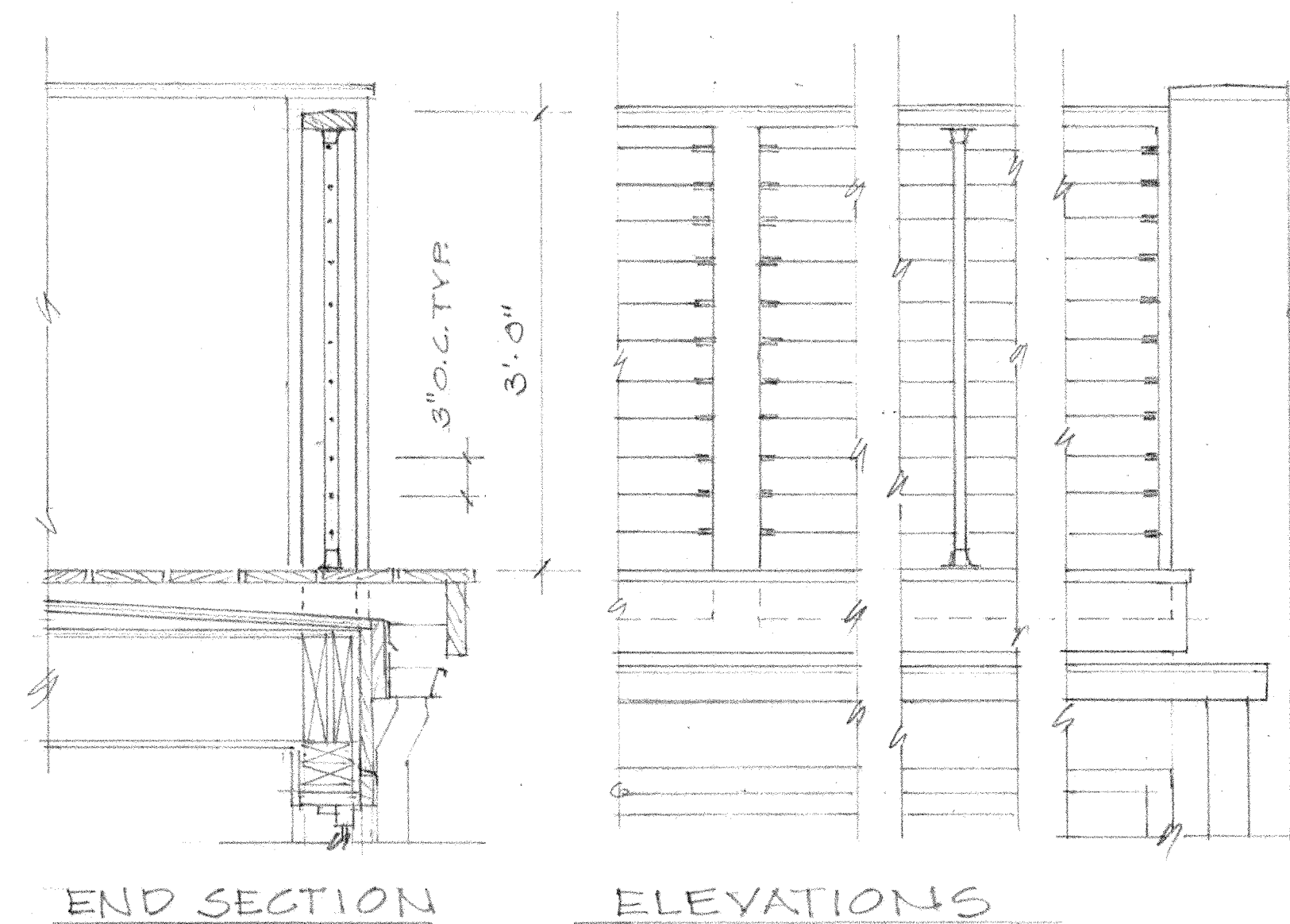
Scale: 1/4" = 1'-0"

1

Proposed - South Elevation

Scale: 1/4" = 1'-0"

2



Cable Rail Details

Scale: 1'-0" = 1'-0"

3

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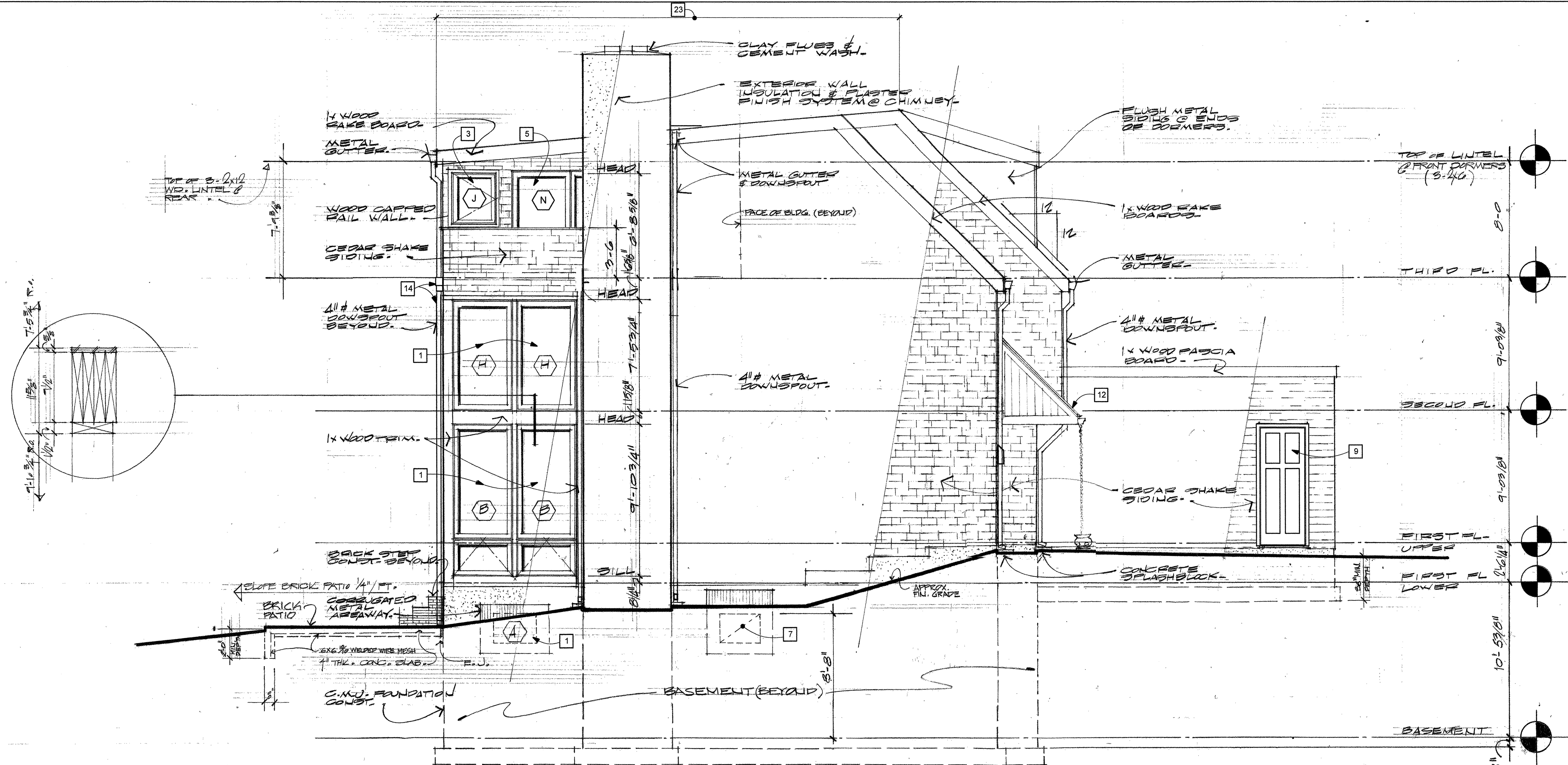
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Proposed North & South Elevations,
~~XXXXXXXXXXXX~~
CABLE RAIL DETAILS

1/24/18
1804

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Proposed - East Elevation

Scale: 1/4" = 1'-0" 1

UNIT TYPE	WINDOW TYPE	MANUF.	FRAME DIM. WIDTH X HGT.	ROUGH OPG. DIM. WIDTH X HGT.	REMARKS
A	Standard Clad Awning	Loewen	31&1/2" x 23&5/8"	32&1/4" x 24&3/8"	
B	Custom Clad Awning Picture Over Custom Clad Awning	Loewen	46&1/2" x 118&1/8"	47&1/4" x 118&7/8"	See General Window Notes for Tempered Glass Locations.
C	Custom Clad Fixed Casement Over Standard Inswing Terrace Door	Loewen	36&3/8" x 125"	37&1/8" x 125&5/8"	
D	Triple Standard Clad Casement with Fixed Center Unit	Loewen	82&11/16" x 41&1/4"	83&7/16" x 42"	
E	Custom Clad Casement	Loewen	17&1/2" x 59&1/16"	18&1/4" x 59&13/16"	
F	Standard Inswing Terrace Door	Loewen	36&3/8" x 86"	37&1/8" x 86&5/8"	
G	Fixed Curb Mounted Skylight FCM 3446	Velux	Inside Curb (W"xH"): 34&1/2" x 46&1/2" Outside Curb (W"xH"): 37&1/2" x 49&1/2"		
H	Custom Clad Casement Picture	Loewen	46&1/2" x 88&5/8"	47&1/4" x 89&3/8"	
J	Custom Clad Casement	Loewen	34&3/4" x 41"	35&1/2" x 41&3/4"	
K-1	Standard Clad Awning	Loewen	47&1/4" x 15&3/4"	48" x 16&1/2"	
K-2	Standard Clad Awning	Loewen	35&7/16" x 15&3/4"	36&3/16" x 16&1/2"	

UNIT TYPE	WINDOW TYPE	MANUF.	FRAME DIM. WIDTH X HGT.	ROUGH OPG. DIM. WIDTH X HGT.	REMARKS
L	Double Standard Clad Casement	Loewen	39&3/8" x 70&7/8"	40&1/8" x 71&5/8"	See General Window Notes for Tempered Glass Locations.
M	Double Standard Clad Casement	Loewen	39&3/8" x 59&1/16"	40&1/8" x 59&13/16"	See General Window Notes for Tempered Glass Locations.
N	Standard Clad Sliding Patio Door	Loewen	140&1/2" x 79&1/2"	141&1/4" x 80&1/4"	
P	Standard Clad Casement Picture	Loewen	59&1/16" x 70&7/8"	59&13/16" x 71&5/8"	See General Window Notes for Tempered Glass Locations.
Q	Standard Clad Casement Picture	Loewen	35&7/16" x 70&7/8"	36&3/16" x 71&5/8"	See General Window Notes for Tempered Glass Locations.
R	Standard Clad Casement Picture	Loewen	29&1/2" x 70&7/8"	30&1/4" x 71&5/8"	See General Window Notes for Tempered Glass Locations.

- WINDOW GENERAL NOTES:**
- Manufacturer:
 - Windows, Sliding Patio Door, and French Doors: Loewen
 - Skylight: Velux America Inc.
 - Glass:
 - Double-pane sealed insulating glass Low E II with Argon.
 - Hazardous Locations: The following shall be considered specific hazardous locations requiring safety glazing (tempered glass):
 - Glazing in swinging doors.
 - Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bi-fold closet door assemblies.
 - Glazing in storm doors.
 - Glazing in unframed swinging doors.
 - Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers. Glazing in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60-inches above a standing surface.
 - Glazing in an individual fixed or operable panel adjacent to a door where the nearest exposed edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60-inches above the walking surface.
 - Exceptions To Above:
 - Panels where there is an intervening wall or other permanent barrier between the door and glazing.
 - Where access through the door is to a closet or storage area 3 feet or less in depth.
 - Glazing in walls perpendicular to the plane of the door in a closed position, other than the wall towards which the door swings when opened.
 - Glazing in an individual fixed or operable panel, other than in those locations described in preceding items e. and f. which meets all of the following conditions:
 - Exposed area of an individual pane greater than 9 square feet.
 - Exposed bottom edge less than 18 inches above the floor.
 - Exposed top edge greater than 36-inches above the floor.
 - One or more walking surfaces within 36-inches horizontally of the plane of the glazing.
 - Other areas as described in Section 2406.3 of IBC Code latest edition.

Provide full height screens for operable window units:

 - Frame: Aluminum; Color to be selected by owner from manufacturer's standard colors.
 - Screen: 18x16 charcoal color fiberglass mesh.

Provide manufacturer's standard hardware except as otherwise noted. Color to be selected by owner from manufacturer's standard colors.

Operation: See elevations for operation orientation.

Interior Finish: Treated unfinished wood.

Provide metal flashing above all exterior window and door head trims.

All windows located in 2x6 stud wall construction to include jamb extensions to accommodate a 6&1/2" wide wall construction.

Window Schedule

2

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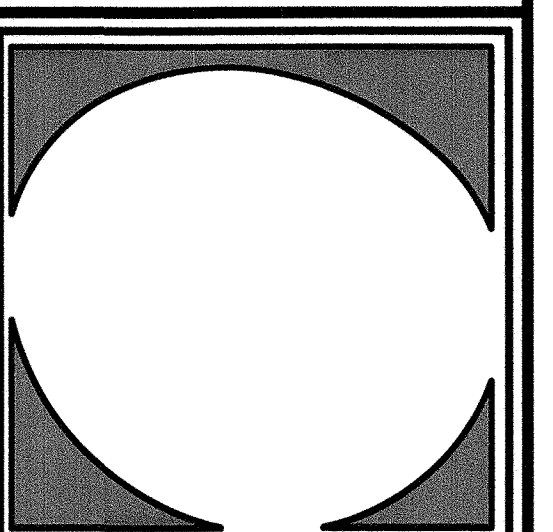
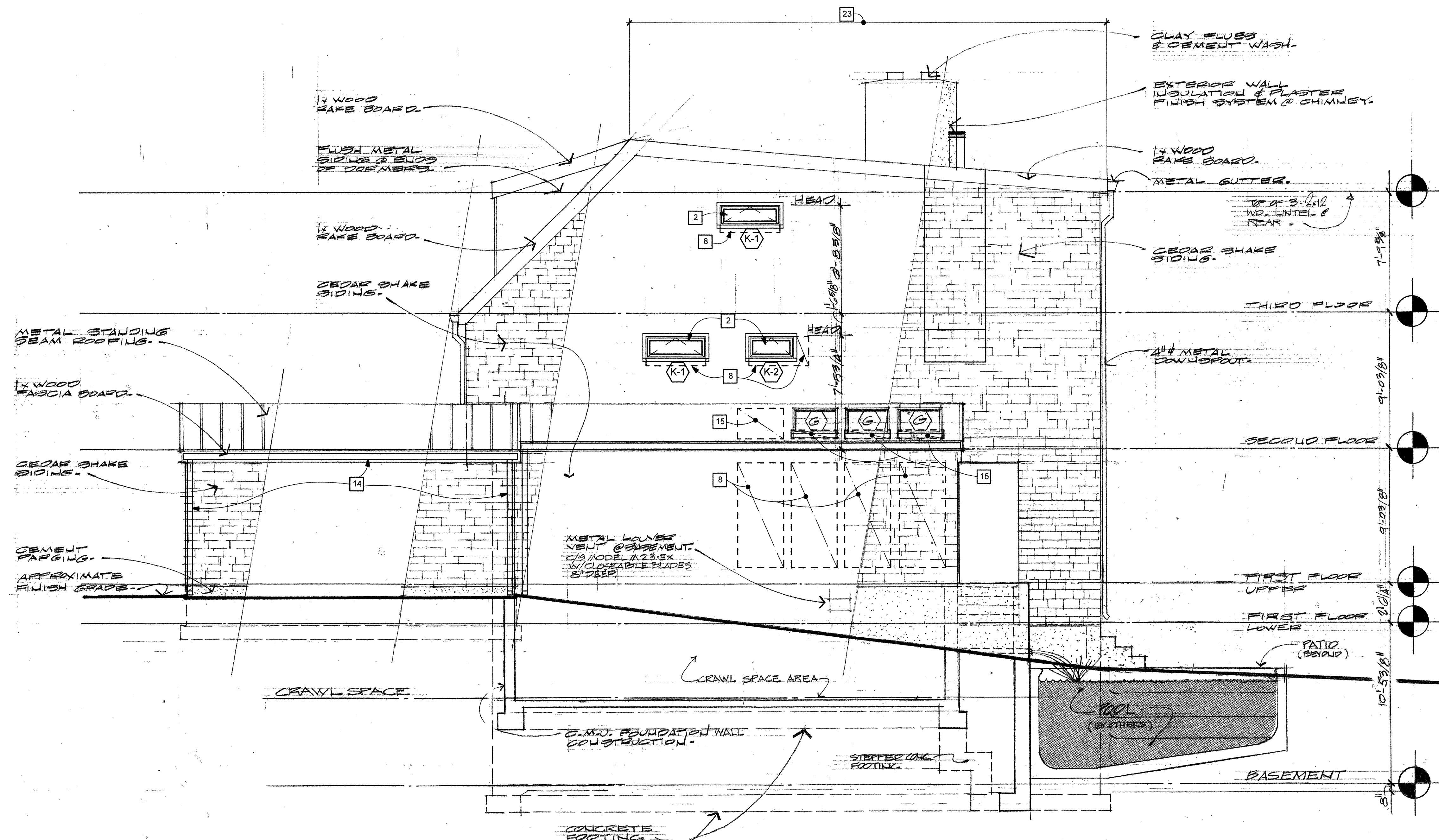
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Proposed - East Elevation,
Window Schedule

1/24/18	A-5
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95 Shipwright St.
Annapolis, MD

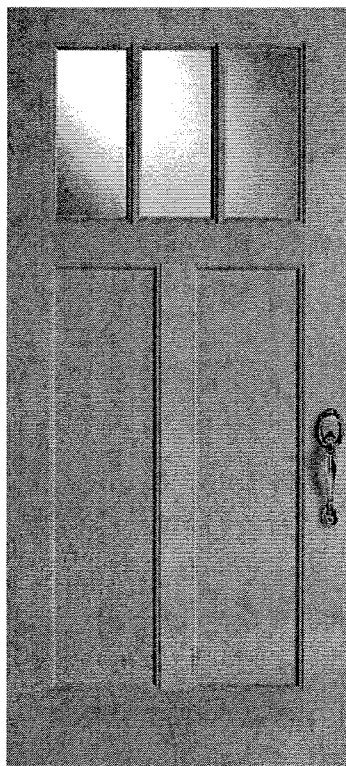
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Proposed - West Elevation

1/24/18
1804

A-6

36803 — CRAFTSMAN TWO PANEL - THREE LITE (SDL)



SERIES: Craftsman Collection
TYPE: Exterior Decorative
APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type:
 Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 3/4" VG Flat Panel
Glass: 3/4" Insulated Glazing

STANDARD FEATURES



Any Wood Species



Virtually Any Size



Glass Options

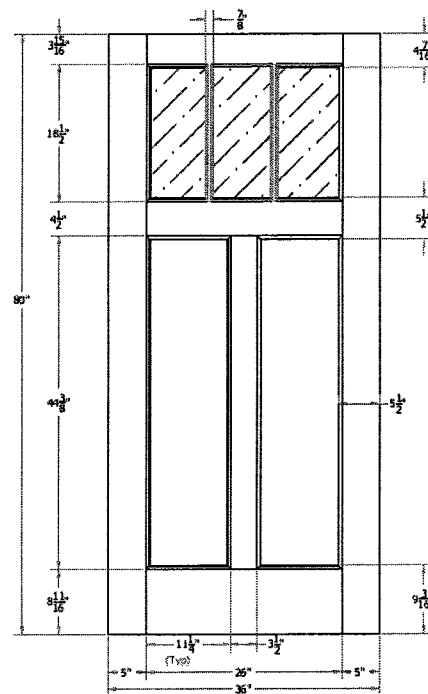


UltraBlock® Technology



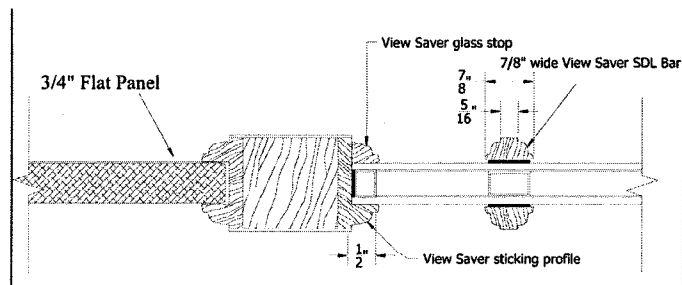
Privacy Rating: 1

DETAILED DRAWING

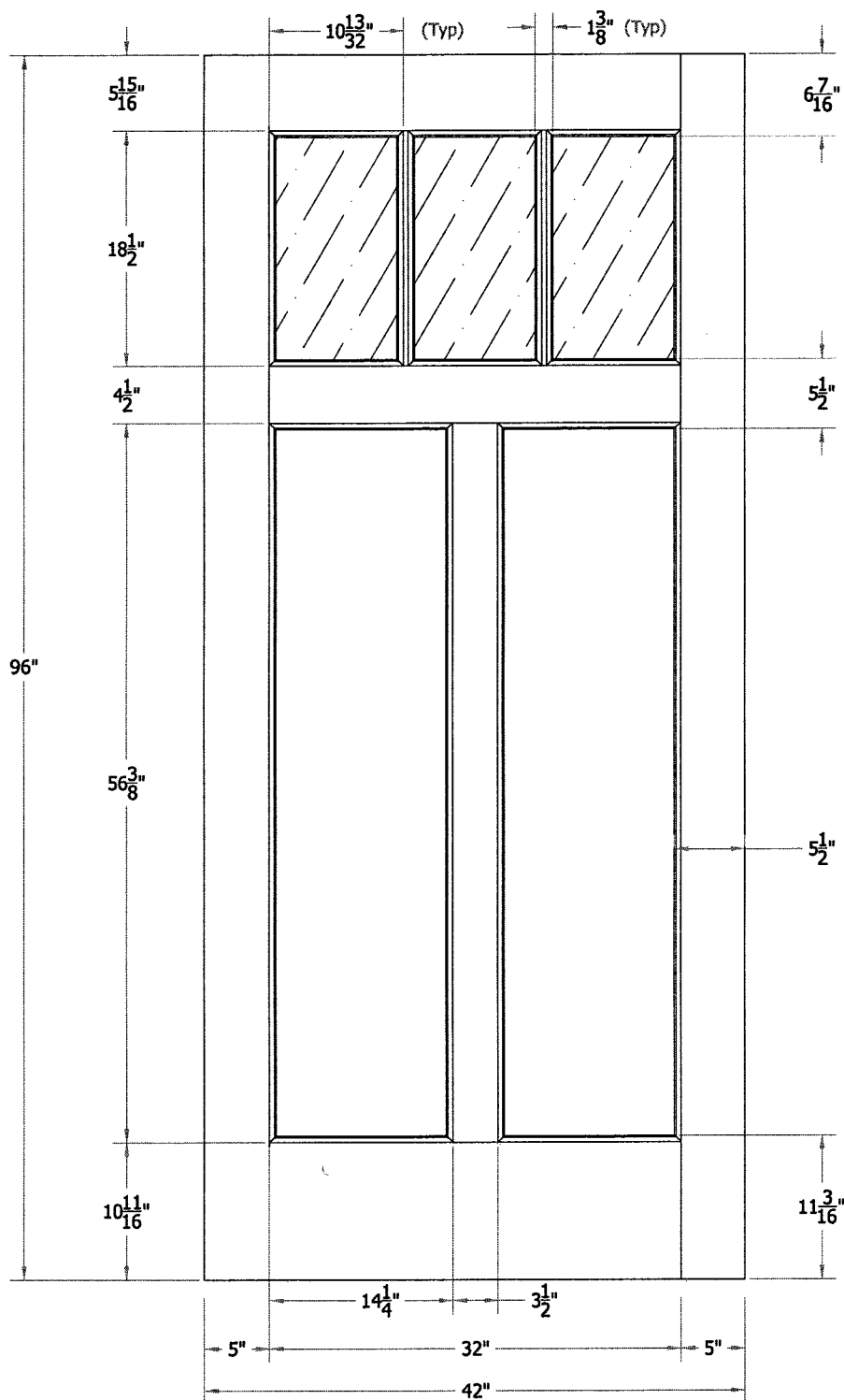


FRONT ENTRY DOOR

DETAILS



(Standard)



FRONT ENTRY DOOR

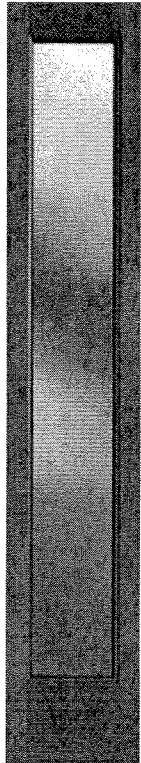
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Revisions

Rev. #	Description	Date	by Whom

TITLE 6803 3/6 x 8/0 Customer Layout			
DRAWING NO. D-6803-306-800-0700			
LAYOUT 00	SCALE NTS	PATTERN # 7014	
DRAWN BY: J. Decker		DATE 08/06/2010	
Simpson®			

6170 — CRAFTSMAN SIDELIGHT






SERIES: Craftsman Collection
TYPE: Sidelight

Construction Type:
Engineered All-Wood Stiles
and Rails with Dowel Pinned
Stile/Rail Joinery

Profile: Ovolo Sticking
Glass: 3/4" Insulated Glazing

STANDARD FEATURES

-  Any Wood Species
-  Virtually Any Size
-  UltraBlock® Technology
-  Privacy Rating: 1

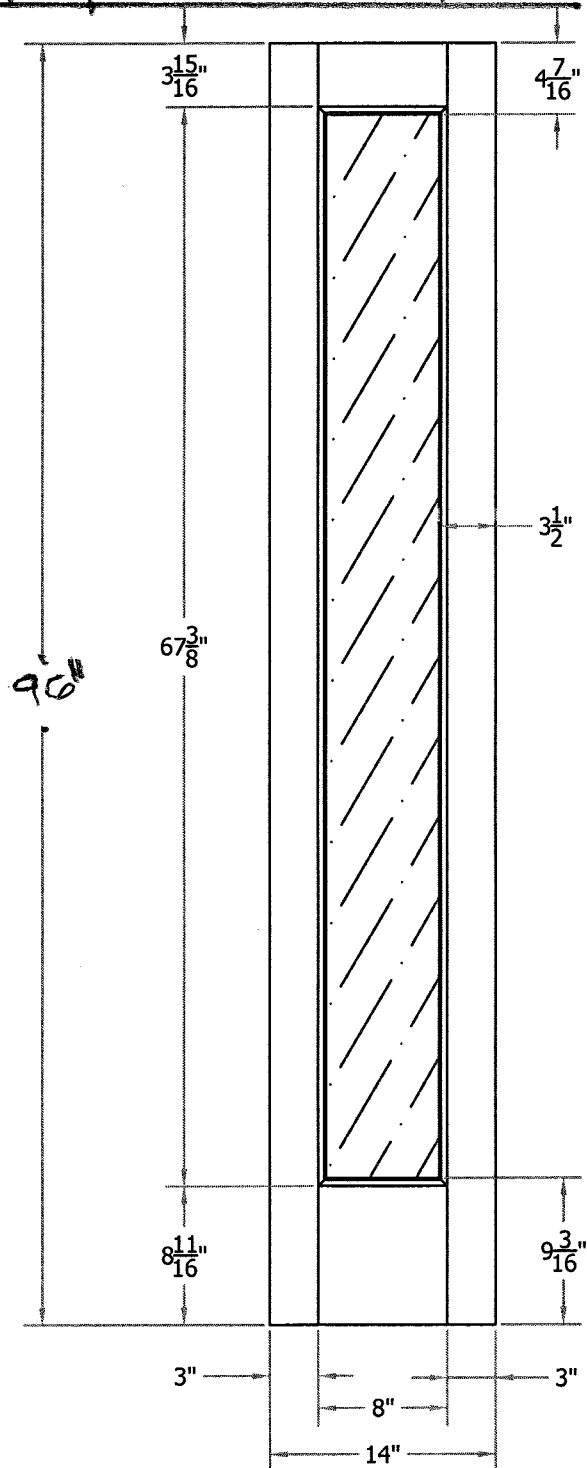
DETAILS



DETAILED DRAWING (Standard)

FRONT ENTRY SIDELIGHT

FRONT ENTRY SIDELIGHT



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Revisions

Rev. #	Description	Date	by Whom

TITLE 6170 1/2 x 6/8.5
Customer Layout

DRAWING NO. S-6170-102-608.5-0700

LAYOUT 00 SCALE NTS BORE PATTERN # 7001
DRAWN BY: V.KEECH DATE 09/24/2013

Simpson®

Lamps Plus | Outdoor Lighting | Contemporary | Troy | Charlemagne 23 1/2" High Aged Pewter Outdoor Wall Light

< Go Back



Charlemagne 23 1/2" High Aged Pewter Outdoor Wall Light - Style # 1K944

\$518.00

FREE SHIPPING & FREE RETURNS* | [Low Price Guarantee](#)

1

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The Charlemagne outdoor wall light by Troy Lighting is finished in aged pewter and features a hanging lantern design with cage frame.

[MORE DETAILS >](#)



PRINT



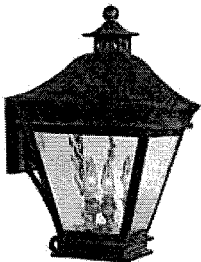
EMAIL



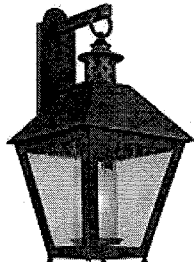
CHAT

[VIEW IN YOUR ROOM](#)

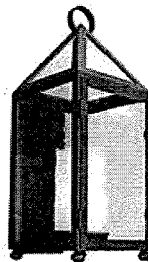
MORE YOU MAY LIKE



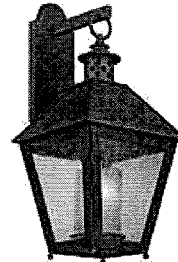
\$490.00



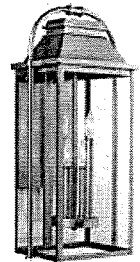
\$572.00



\$478.00



\$438.00



\$499.00

PRODUCT DETAILS

Industrial design is inspired by shipyard rain-soaked romance with the

• 23 1/2" high x 11" wide. Extends 14 1/4" from

Charlemagne 23 1/2" outdoor wall light by Troy Lighting. A backplate and sturdy arm hosts a hanging lantern - all in an aged pewter finish. An open cage frame highlights the interior clear seeded glass shade, which diffuses the light with moody ambiance. The Charlemagne evokes the home beacon on a storm swept shore, a classic accent for your outdoor spaces.



[Shop all Troy](#)

the wall.

- Backplate is 16 1/4" high x 6" wide x 3/4" deep.
- Takes four maximum 60 watt candelabra base bulbs (not included).
- Industrial 4-light outdoor wall light from the Charlemagne collection by Troy Lighting.
- Aged pewter finish. Solid aluminum construction.
- Clear seeded glass shade.
- Wet location outdoor rated.

RELATED VIDEOS



Outdoor Buying Guide



Outdoor Lighting Types



Outdoor Lighting Size Guide



Security Lighting



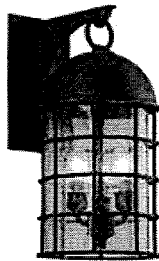
Wet vs Damp Location

RELATED ITEMS



\$378.00

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Q & A

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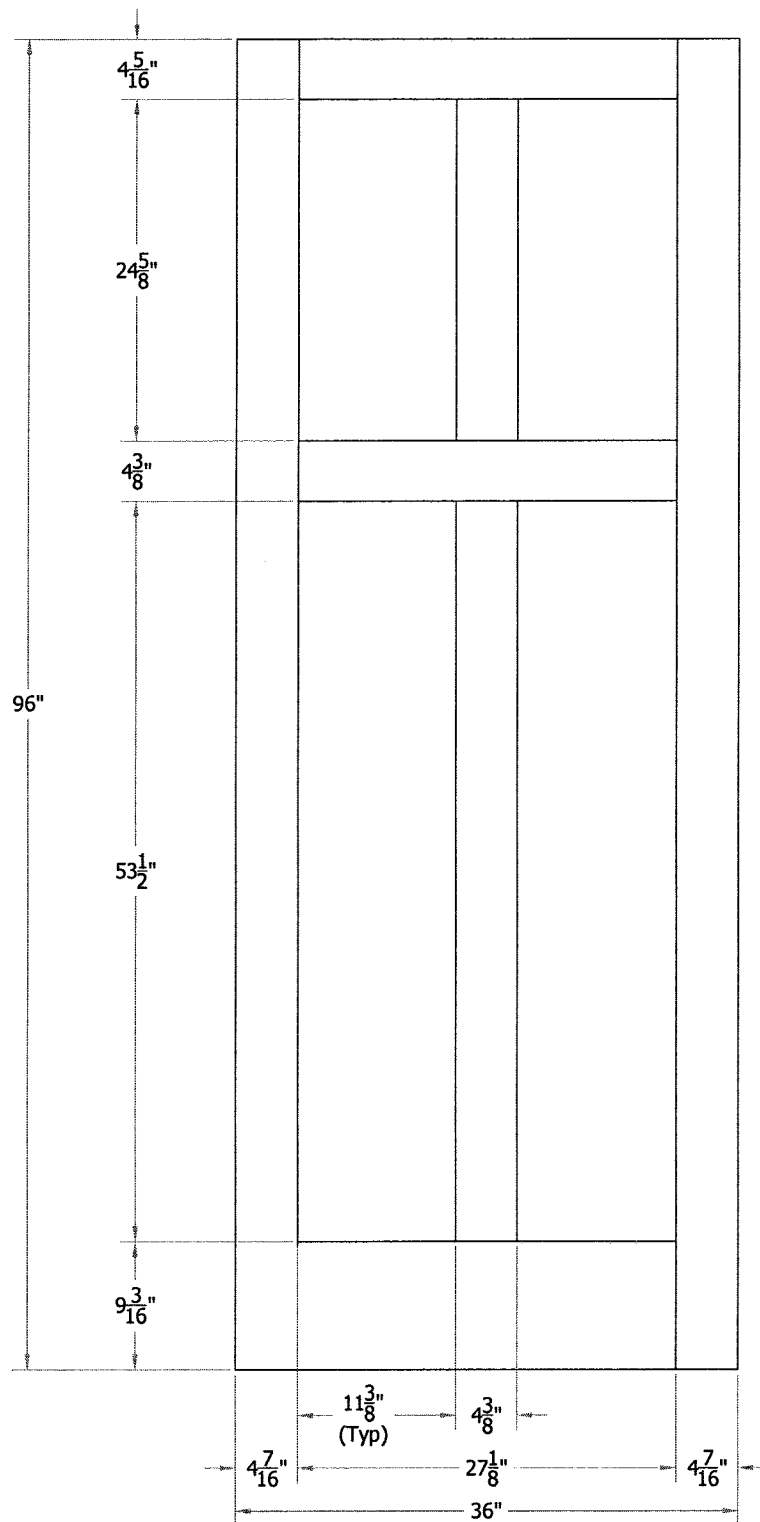
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ASK A QUESTION:



Start typing your question and we'll check if it was already asked and answered. [Learn More](#)

No questions have been asked about this item. Be the first!



GARAGE PASSENGER DOOR

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Revisions

Rev. #	Description	Date	by Whom

TITLE 762 3/0 x 8/0 Customer Layout			
DRAWING NO. D-762-300-800-0800			
LAYOUT 00	SCALE NTS	BORE PATTERN # 1113	
DRAWN BY: G. Vanairsdale		DATE 01/11/05	
Simpson®			

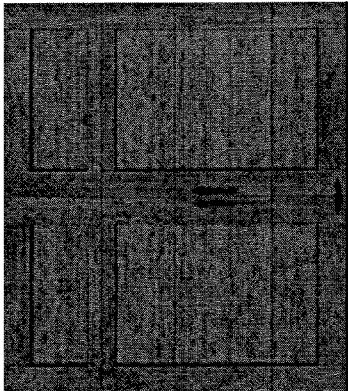
OVERVIEW

DESIGN OPTIONS

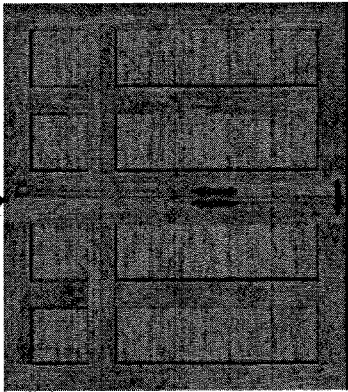
GARAGE OVERHEAD DOOR

DOOR DESIGNS

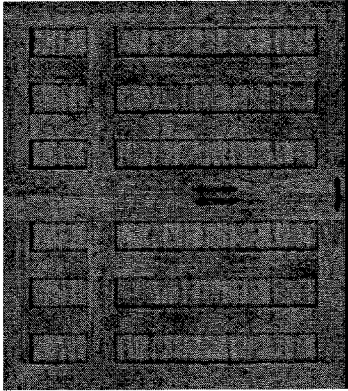
SERIES 1



DESIGN 11

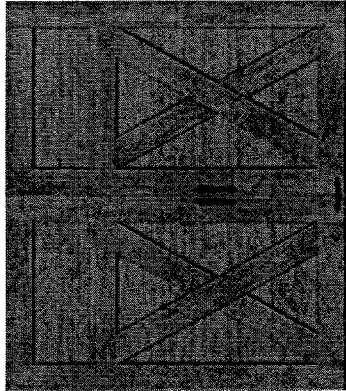


DESIGN 12

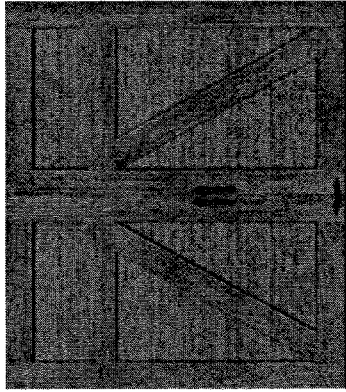


DESIGN 13

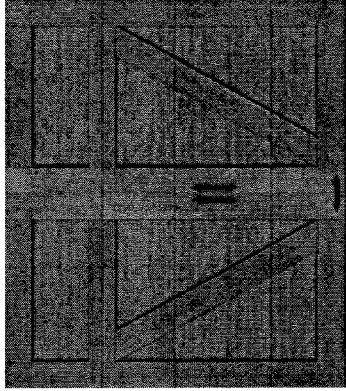
SERIES 2



DESIGN 21



DESIGN 22



DESIGN 23

SERIES 3



TOP11



TOP12



TOP13



ARCH1

WINDOW DESIGNS



REC11



REC13



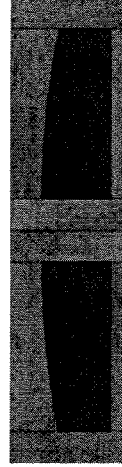
REC14



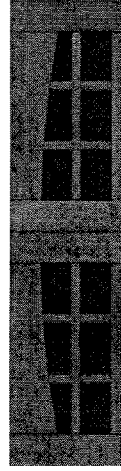
SQ23



SQ24



ARCH1



ARCH3



ARCH4



ARCH13



ARCH14

GARAGE OVERHEAD DOOR



Southwest Airlines - General Error

Canyon Ridge Ultra-Grain | Faux Wood Grain Garage Doors by Clopay

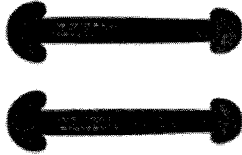
HANDLES



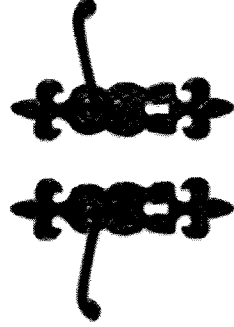
SPADE LIFT HANDLES
(INCLUDED)



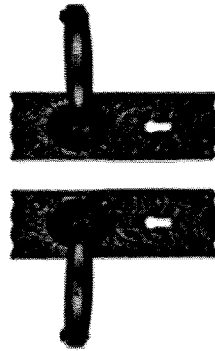
SPEAR LIFT HANDLES



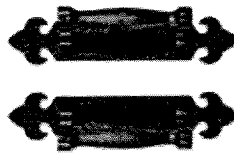
COLONIAL LIFT HANDLES



FLEUR DE LIS HANDLES



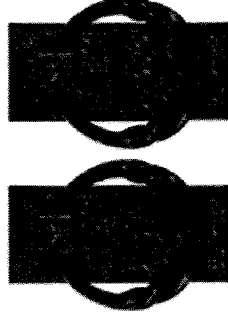
DECORATIVE LIFT HANDLES



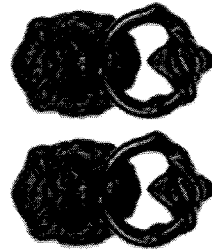
OLDE DOOR PULL HANDLES



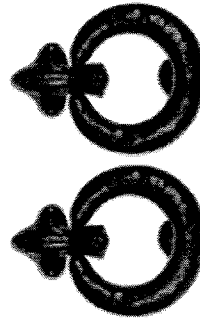
GATE LATCH HANDLES



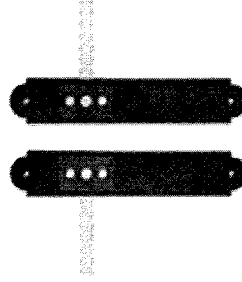
RING KNOCKERS WITH PLATE



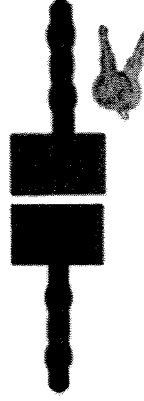
LION'S HEAD DOOR
KNOCKER



RING DOOR KNOCKERS



ESCUTCHEON PLATE(S)



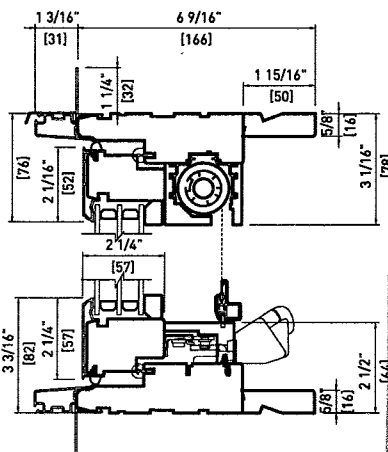
TWISTED "L" HANDLES



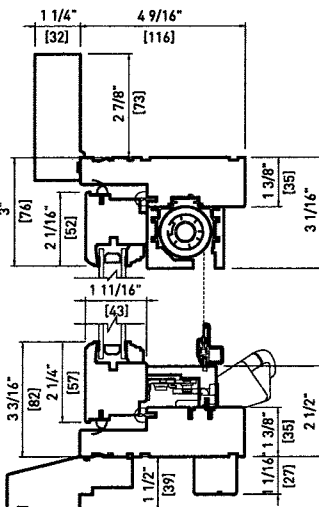
GARAGE OVERHEAD DOOR

AWNING WINDOW DETAIL

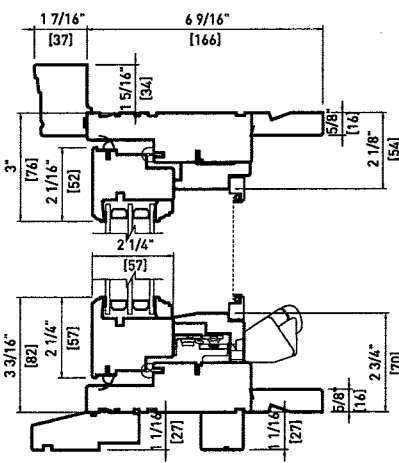
HEAD & SILL DETAIL



METAL CLAD TRIPLE
6 9/16" (166 mm)
SQUARE GLAZING STOPS
RETRACTABLE SCREEN

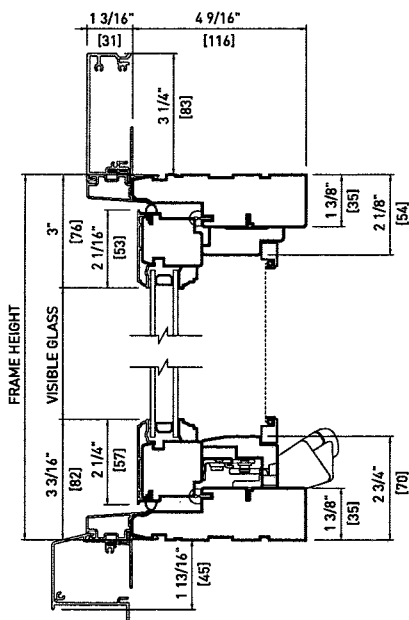


WOOD EXTERIOR DOUBLE
4 9/16" (116 mm)
3 1/2" FLAT CASING WITH BC SUBSILL
RETRACTABLE SCREEN



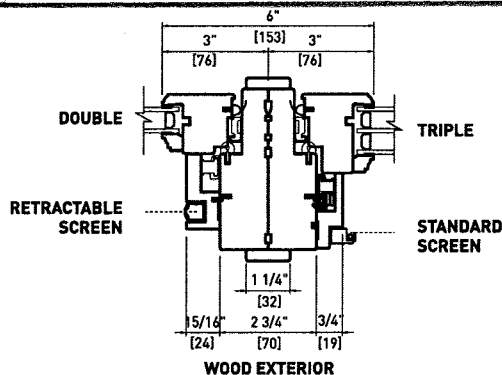
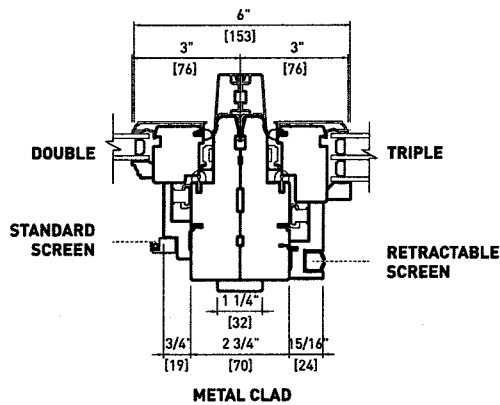
WOOD EXTERIOR TRIPLE
6 9/16" (166 mm)
2" BRICKMOULD WITH STANDARD SUBSILL
STANDARD SCREEN

HEAD & SILL DETAIL



METAL CLAD DOUBLE
4 9/16" (116 mm)
3 1/2" FLAT CASING WITH HERITAGE SILL NOSE
STANDARD SCREEN

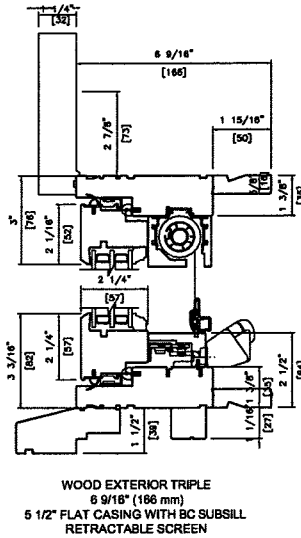
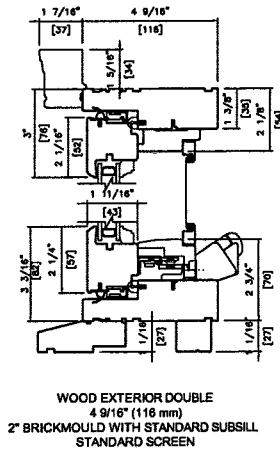
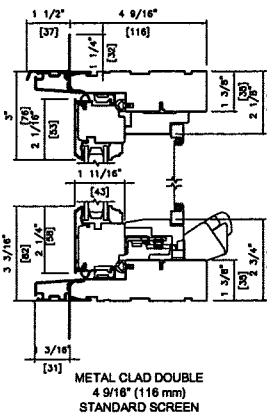
PLAN VIEW



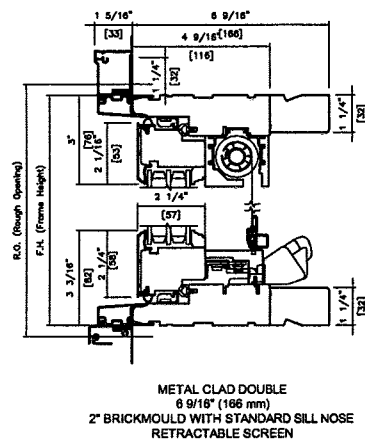
Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

CASEMENT WINDOW DETAIL

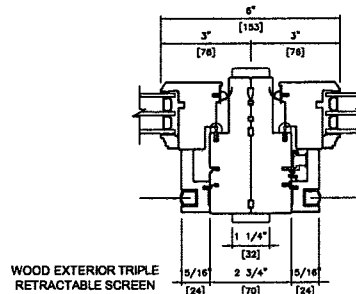
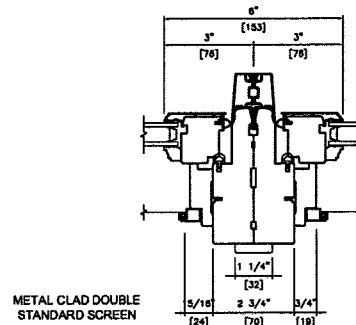
HEAD & SILL DETAIL



HEAD & SILL DETAIL



PLAN VIEW

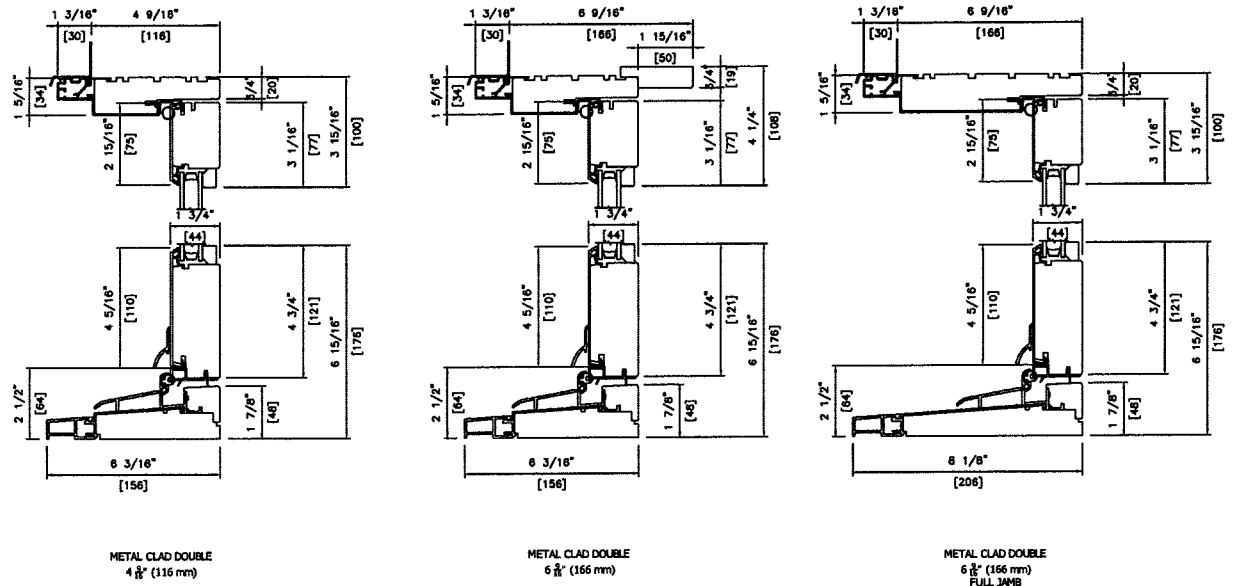


Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" [2 mm] tolerance.

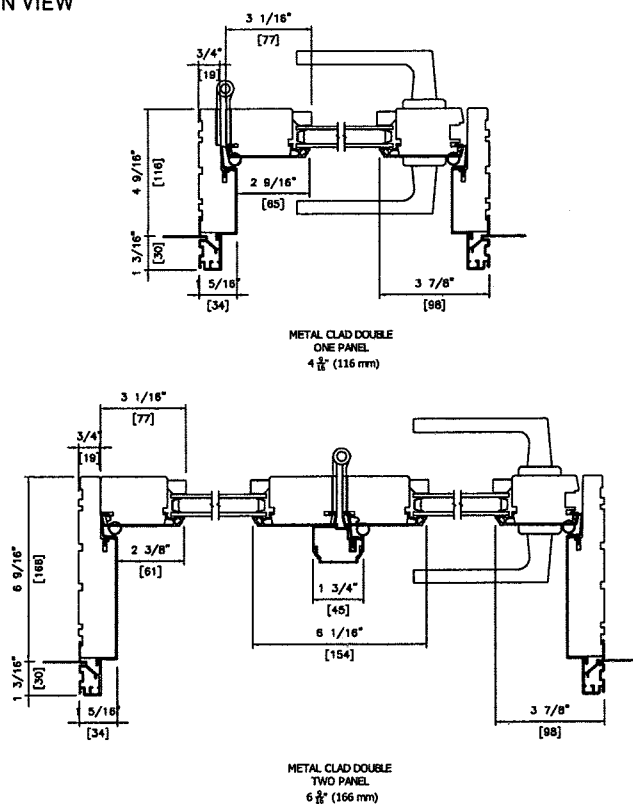
Information is subject to change without notice. | CAD Download and Installation Instructions: www.loewen.com

INSWING 3" NARROW STILE TERRACE DOOR DETAIL

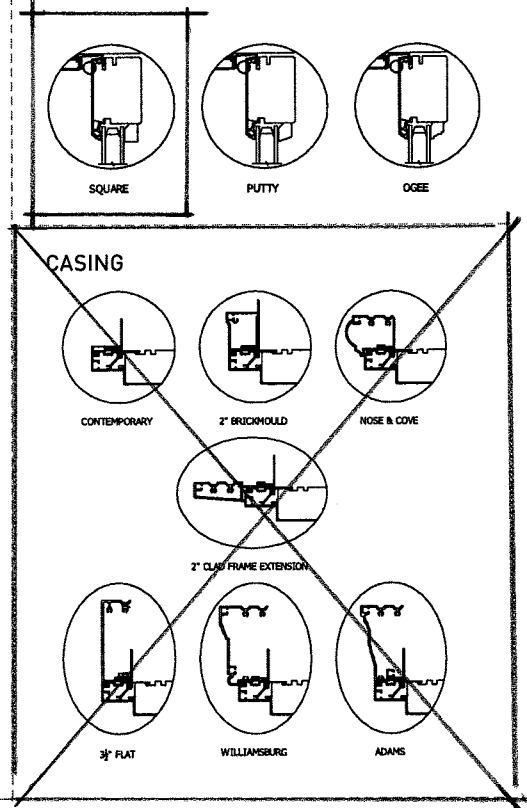
HEAD & SILL DETAIL



PLAN VIEW



GLAZING STOP PROFILES



Note: • Other jamb widths available.
 • All dimensions to have +/- 1/16" [2 mm] tolerance.

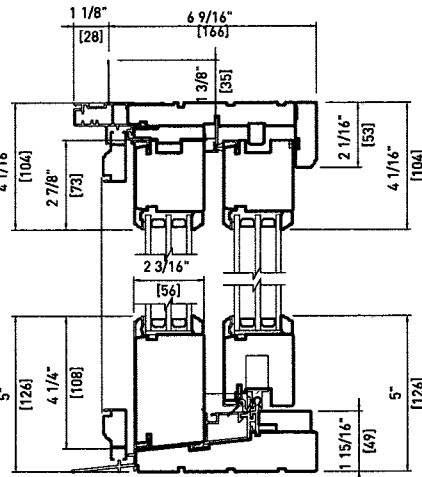
Information is subject to change without notice. | CAD Download and Installation Instructions: www.loewen.com

H7

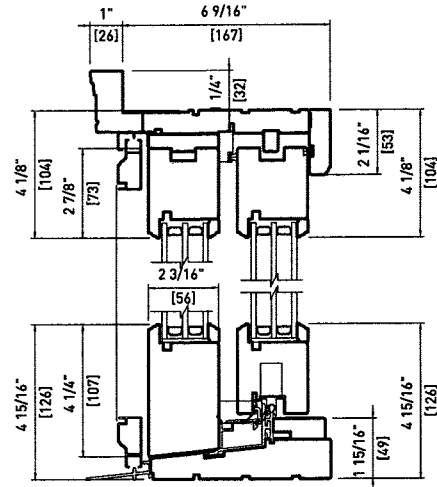
www.loewen.com | 1.800.563.9367 | SWINGING TERRACE & FRENCH TERRACE DOORS

PATIO DOOR DETAIL

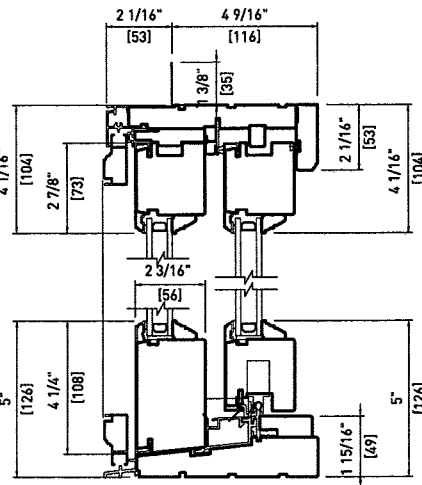
HEAD & SILL DETAIL



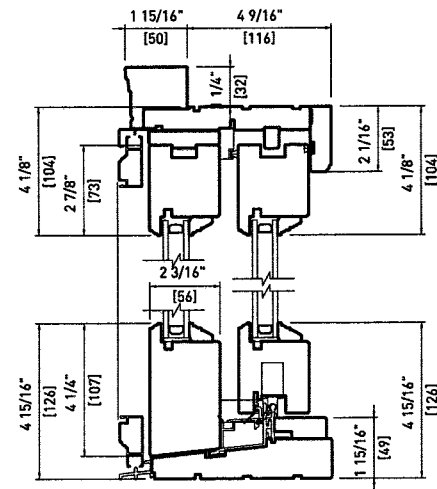
METAL CLAD TRIPLE
6 9/16" (166 mm)



WOOD EXTERIOR TRIPLE
6 9/16" (166 mm)
2" BRICKMOULD



METAL CLAD DOUBLE
4 9/16" (116 mm)



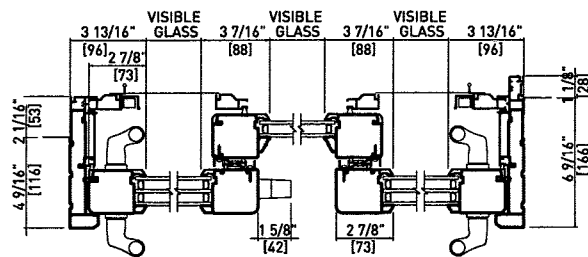
WOOD EXTERIOR DOUBLE
4 9/16" (116 mm)
2" BRICKMOULD

Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" [2 mm] tolerance.

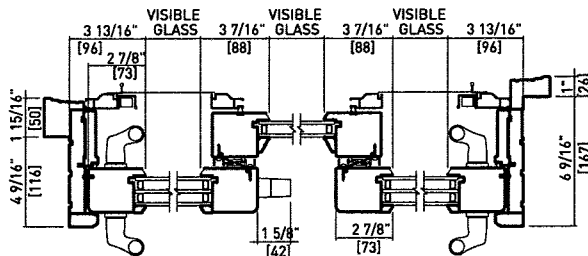
Information is subject to change without notice. | CAD Download and Installation Instructions: www.loewen.com

PATIO DOOR DETAIL

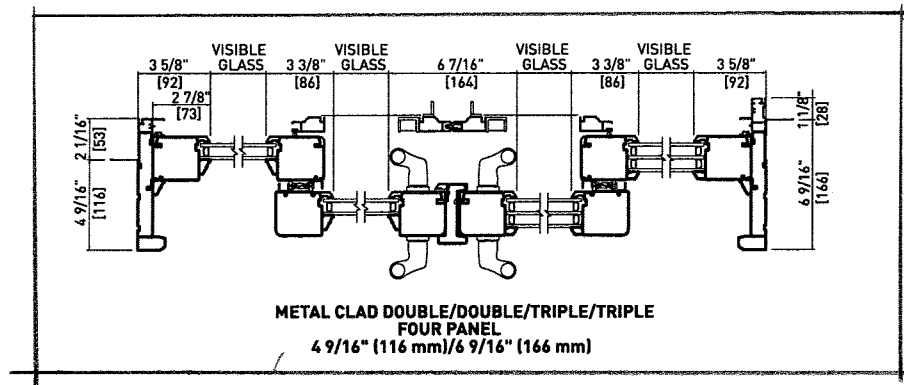
PLAN VIEW



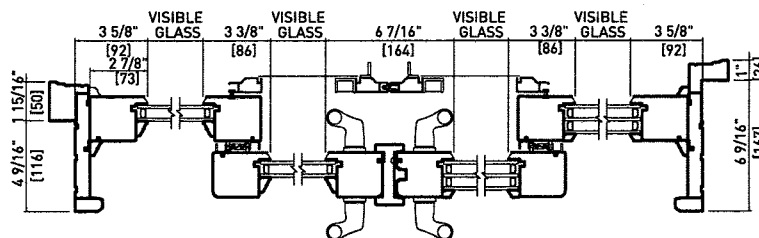
**METAL CLAD TRIPLE/DOUBLE/TRIPLE
THREE PANEL**
49 1/16" (116 mm)/69 1/16" (166 mm)



**WOOD EXTERIOR TRIPLE/DOUBLE/TRIPLE
THREE PANEL**
49 1/16" (116 mm)/69 1/16" (166 mm)
2" BRICKMOULD



**METAL CLAD DOUBLE/DOUBLE/TRIPLE/TRIPLE
FOUR PANEL**
49 1/16" (116 mm)/69 1/16" (166 mm)



**WOOD EXTERIOR DOUBLE/DOUBLE/TRIPLE/TRIPLE
FOUR PANEL**
49 1/16" (116 mm)/69 1/16" (166 mm)
2" BRICKMOULD

Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" [2 mm] tolerance.

FCM - Fixed Skylight

Curb Mounted

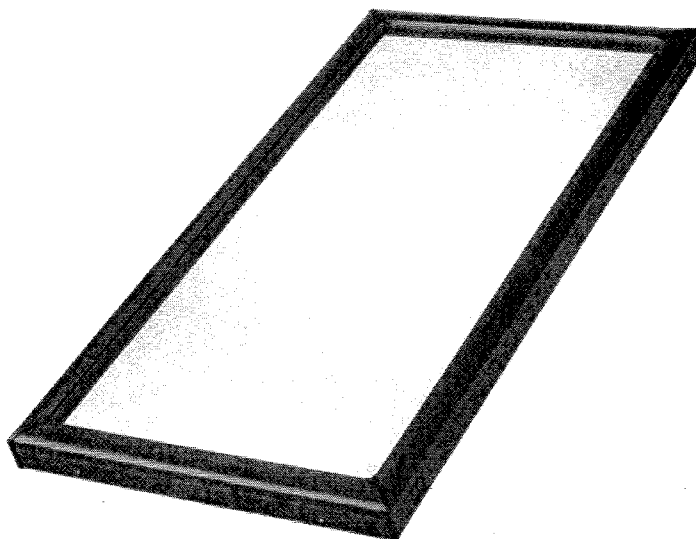
Benefits of FCM skylights

- › Maintenance free frame
- › No designated top, bottom or sides - can be installed in any direction
- › White laminated glass available for applications where diffused lighting is required
- › Factory installed blinds available

Installation Instructions for FCM Skylights >

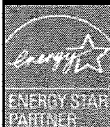
★★★★★ 4.8 | 209 Reviews

200 out of 203 (99%) reviewers recommend this product



Find out about **FREE SKYLIGHTS!*** with the new energy performance models

What's Included? >



Skylight sizes for FCM skylights

FCM Size Code	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
---------------	------	------	------	------	------	------	------	------	------	------	------	------

Inside curb (W"xH")	14 ¹ / ₂ x 30 ¹ / ₂	14 ¹ / ₂ x 46 ¹ / ₂	22 ¹ / ₂ x 22 ¹ / ₂	22 ¹ / ₂ x 30 ¹ / ₂	22 ¹ / ₂ x 34 ¹ / ₂	22 ¹ / ₂ x 46 ¹ / ₂	22 ¹ / ₂ x 70 ¹ / ₂	30 ¹ / ₂ x 30 ¹ / ₂	30 ¹ / ₂ x 46 ¹ / ₂	34 ¹ / ₂ x 34 ¹ / ₂	34 ¹ / ₂ x 46 ¹ / ₂	46 ¹ / ₂ x 46 ¹ / ₂
Outside curb (W"xH")	17 ¹ / ₂ x 33 ¹ / ₂	17 ¹ / ₂ x 49 ¹ / ₂	25 ¹ / ₂ x 25 ¹ / ₂	25 ¹ / ₂ x 33 ¹ / ₂	25 ¹ / ₂ x 37 ¹ / ₂	25 ¹ / ₂ x 49 ¹ / ₂	25 ¹ / ₂ x 73 ¹ / ₂	33 ¹ / ₂ x 33 ¹ / ₂	33 ¹ / ₂ x 49 ¹ / ₂	37 ¹ / ₂ x 37 ¹ / ₂	37 ¹ / ₂ x 49 ¹ / ₂	49 ¹ / ₂ x 49 ¹ / ₂
Maximum skylight clearance (W"xH")	18 ⁵ / ₈ x 34 ⁵ / ₈	18 ⁵ / ₈ x 50 ⁵ / ₈	26 ⁵ / ₈ x 26 ⁵ / ₈	26 ⁵ / ₈ x 34 ⁵ / ₈	26 ⁵ / ₈ x 38 ⁵ / ₈	26 ⁵ / ₈ x 50 ⁵ / ₈	26 ⁵ / ₈ x 74 ⁵ / ₈	34 ⁵ / ₈ x 34 ⁵ / ₈	34 ⁵ / ₈ x 50 ⁵ / ₈	38 ⁵ / ₈ x 38 ⁵ / ₈	38 ⁵ / ₈ x 50 ⁵ / ₈	50 ⁵ / ₈ x 50 ⁵ / ₈

[See all skylight size details](#)

Flashing systems for FCM skylights

Description	Roofing material	Roof pitch	Product code
Step flashing w/ adhesive underlayment	Asphalt shingles, wood shakes and flat tile	10°-60°	ECL 0000C
High profile flashing w/ adhesive underlayment	Tile	14°-60°	ECW 0000C

[See all skylight flashing systems](#)

The No Leak Skylight

No Leak Promise
No Worries

DETAIL 1

HORIZONTAL CROSS SECTION

SEE DETAIL 1

VERTICAL CROSS SECTION

PRODUCT DIMENSIONS									
METRIC UNITS (MILLIMETERS)					IMPERIAL UNITS (INCHES)				
Size	Frame Width	Frame Aperture Width	Sightlight Width	Maximum Sightlight Width	Frame Height	Frame Aperture Height	Sightlight Height	Maximum Sightlight Height	Daylight Area (Sq. Meters)
14.30	44.5	38.8	48.5	47.5	85.1	77.5	89.7	87.9	0.26
14.42	44.5	38.8	48.5	47.5	125.7	118.1	129.9	128.6	0.43
14.68	44.5	38.8	48.5	47.5	164.8	157.2	168.8	167.6	0.63
15.22	64.8	57.2	58.9	57.6	84.8	57.2	66.9	65.7	0.33
15.48	64.8	57.2	58.9	57.6	124.8	97.2	106.9	105.6	0.53
15.74	64.8	57.2	58.9	57.6	164.8	137.2	146.9	145.6	0.73
16.28	84.8	67.6	69.3	67.6	95.3	87.6	98.1	96.8	0.54
16.54	84.8	67.6	69.3	67.6	135.3	127.6	138.1	136.8	0.74
17.08	104.8	87.6	89.3	87.6	125.7	118.1	129.9	128.6	0.68
17.34	104.8	87.6	89.3	87.6	165.7	157.0	168.8	167.6	1.02
17.60	104.8	87.6	89.3	87.6	205.7	197.0	208.8	207.6	1.22
18.14	124.8	107.6	109.3	107.6	85.1	77.5	89.7	87.9	0.60
18.40	124.8	107.6	109.3	107.6	125.1	118.1	129.9	128.6	0.82
18.66	124.8	107.6	109.3	107.6	165.1	157.5	169.9	168.6	1.02
19.20	144.8	127.6	129.3	127.6	85.1	77.5	89.7	87.9	0.77
19.46	144.8	127.6	129.3	127.6	125.1	118.1	129.9	128.6	1.07
19.72	144.8	127.6	129.3	127.6	165.1	157.5	169.9	168.6	1.27
20.26	164.8	147.6	149.3	147.6	125.1	118.1	129.9	128.6	1.36
20.52	164.8	147.6	149.3	147.6	165.1	157.5	169.9	168.6	1.56
21.06	184.8	167.6	169.3	167.6	125.1	118.1	129.9	128.6	1.76
21.32	184.8	167.6	169.3	167.6	165.1	157.5	169.9	168.6	1.96
21.86	204.8	187.6	189.3	187.6	125.1	118.1	129.9	128.6	2.16
22.12	204.8	187.6	189.3	187.6	165.1	157.5	169.9	168.6	2.36
22.66	224.8	207.6	209.3	207.6	125.1	118.1	129.9	128.6	2.56
22.92	224.8	207.6	209.3	207.6	165.1	157.5	169.9	168.6	2.76
23.46	244.8	227.6	229.3	227.6	125.1	118.1	129.9	128.6	2.96
23.72	244.8	227.6	229.3	227.6	165.1	157.5	169.9	168.6	3.16
24.26	264.8	247.6	249.3	247.6	125.1	118.1	129.9	128.6	3.36
24.52	264.8	247.6	249.3	247.6	165.1	157.5	169.9	168.6	3.56
25.06	284.8	267.6	269.3	267.6	125.1	118.1	129.9	128.6	3.76
25.32	284.8	267.6	269.3	267.6	165.1	157.5	169.9	168.6	3.96
25.86	304.8	287.6	289.3	287.6	125.1	118.1	129.9	128.6	4.16
26.12	304.8	287.6	289.3	287.6	165.1	157.5	169.9	168.6	4.36
26.66	324.8	307.6	309.3	307.6	125.1	118.1	129.9	128.6	4.56
26.92	324.8	307.6	309.3	307.6	165.1	157.5	169.9	168.6	4.76
27.46	344.8	327.6	329.3	327.6	125.1	118.1	129.9	128.6	4.96
27.72	344.8	327.6	329.3	327.6	165.1	157.5	169.9	168.6	5.16
28.26	364.8	347.6	349.3	347.6	125.1	118.1	129.9	128.6	5.36
28.52	364.8	347.6	349.3	347.6	165.1	157.5	169.9	168.6	5.56
29.06	384.8	367.6	369.3	367.6	125.1	118.1	129.9	128.6	5.76
29.32	384.8	367.6	369.3	367.6	165.1	157.5	169.9	168.6	5.96
29.86	404.8	387.6	389.3	387.6	125.1	118.1	129.9	128.6	6.16
30.12	404.8	387.6	389.3	387.6	165.1	157.5	169.9	168.6	6.36
30.66	424.8	407.6	409.3	407.6	125.1	118.1	129.9	128.6	6.56
30.92	424.8	407.6	409.3	407.6	165.1	157.5	169.9	168.6	6.76
31.46	444.8	427.6	429.3	427.6	125.1	118.1	129.9	128.6	6.96
31.72	444.8	427.6	429.3	427.6	165.1	157.5	169.9	168.6	7.16
32.26	464.8	447.6	449.3	447.6	125.1	118.1	129.9	128.6	7.36
32.52	464.8	447.6	449.3	447.6	165.1	157.5	169.9	168.6	7.56
33.06	484.8	467.6	469.3	467.6	125.1	118.1	129.9	128.6	7.76
33.32	484.8	467.6	469.3	467.6	165.1	157.5	169.9	168.6	7.96
33.86	504.8	487.6	489.3	487.6	125.1	118.1	129.9	128.6	8.16
34.12	504.8	487.6	489.3	487.6	165.1	157.5	169.9	168.6	8.36
34.66	524.8	507.6	509.3	507.6	125.1	118.1	129.9	128.6	8.56
34.92	524.8	507.6	509.3	507.6	165.1	157.5	169.9	168.6	8.76
35.46	544.8	527.6	529.3	527.6	125.1	118.1	129.9	128.6	8.96
35.72	544.8	527.6	529.3	527.6	165.1	157.5	169.9	168.6	9.16
36.26	564.8	547.6	549.3	547.6	125.1	118.1	129.9	128.6	9.36
36.52	564.8	547.6	549.3	547.6	165.1	157.5	169.9	168.6	9.56
37.06	584.8	567.6	569.3	567.6	125.1	118.1	129.9	128.6	9.76
37.32	584.8	567.6	569.3	567.6	165.1	157.5	169.9	168.6	9.96
37.86	604.8	587.6	589.3	587.6	125.1	118.1	129.9	128.6	10.16
38.12	604.8	587.6	589.3	587.6	165.1	157.5	169.9	168.6	10.36
38.66	624.8	607.6	609.3	607.6	125.1	118.1	129.9	128.6	10.56
38.92	624.8	607.6	609.3	607.6	165.1	157.5	169.9	168.6	10.76
39.46	644.8	627.6	629.3	627.6	125.1	118.1	129.9	128.6	10.96
39.72	644.8	627.6	629.3	627.6	165.1	157.5	169.9	168.6	11.16
40.26	664.8	647.6	649.3	647.6	125.1	118.1	129.9	128.6	11.36
40.52	664.8	647.6	649.3	647.6	165.1	157.5	169.9	168.6	11.56
41.06	684.8	667.6	669.3	667.6	125.1	118.1	129.9	128.6	11.76
41.32	684.8	667.6	669.3	667.6	165.1	157.5	169.9	168.6	11.96
41.86	704.8	687.6	689.3	687.6	125.1	118.1	129.9	128.6	12.16
42.12	704.8	687.6	689.3	687.6	165.1	157.5	169.9	168.6	12.36
42.66	724.8	707.6	709.3	707.6	125.1	118.1	129.9	128.6	12.56
42.92	724.8	707.6	709.3	707.6	165.1	157.5	169.9	168.6	12.76
43.46	744.8	727.6	729.3	727.6	125.1	118.1	129.9	128.6	12.96
43.72	744.8	727.6	729.3	727.6	165.1	157.5	169.9	168.6	13.16
44.26	764.8	747.6	749.3	747.6	125.1	118.1	129.9	128.6	13.36
44.52	764.8	747.6	749.3	747.6	165.1	157.5	169.9	168.6	13.56
45.06	784.8	767.6	769.3	767.6	125.1	118.1	129.9	128.6	13.76
45.32	784.8	767.6	769.3	767.6	165.1	157.5	169.9	168.6	13.96
45.86	804.8	787.6	789.3	787.6	125.1	118.1	129.9	128.6	14.16
46.12	804.8	787.6	789.3	787.6	165.1	157.5	169.9	168.6	14.36
46.66	824.8	807.6	809.3	807.6	125.1	118.1	129.9	128.6	14.56
46.92	824.8	807.6	809.3	807.6	165.1	157.5	169.9	168.6	14.76
47.46	844.8	827.6	829.3	827.6	125.1	118.1	129.9	128.6	14.96
47.72	844.8	827.6	829.3	827.6	165.1	157.5	169.9	168.6	15.16
48.26	864.8	847.6	849.3	847.6	125.1	118.1	129.9	128.6	15.36
48.52	864.8	847.6	849.3	847.6	165.1	157.5	169.9	168.6	15.56
49.06	884.8	867.6	869.3	867.6	125.1	118.1	129.9	128.6	15.76
49.32	884.8	867.6	869.3	867.6	165.1	157.5	169.9	168.6	15.96

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04)
- Tempered LowE3 (05)
- Impact (06)
- Miami-Dade (07)
- White Laminated (08)

COMPATIBLE FLASHINGS:

- ECL Step flashing
- ECW Tile flashing



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Categories

Feeney Architectural

DesignRail®

CableRail

CableRail Kits

CableRail Conceal Kits

CableRail Stair Kits

Build Your Own

Composite Solutions

ATR Kits

Accessories & Tools

Sta-Lok®

Feeney Garden

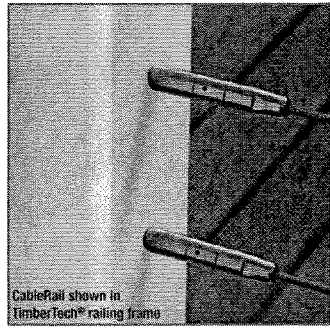
Trellis

Plant Hangers

Feeney Rigging

Technical Documents

CableRail for Composite Sleeved or Wrapped Wood Posts

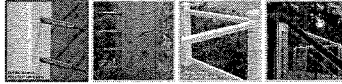


CableRail is the perfect complement to any composite deck and railing!

Our Quick-Connect® Lag and Pivot fittings are specially designed for attachment to wood posts with a composite sleeve, composite wrap, or decorative wood wrap. These sleek and durable fittings attach to the inside faces of the posts, making installation a snap.

- Fast and Easy field assembly: No need to pre-measure cables
- Features our Quick-Connect® automatic locking jaw technology. Just insert the cable into the fitting and it locks automatically. No cumbersome crimp tools or difficult-to-use compression fittings.
- Made from high-quality 316-grade stainless steel with a tumbled satin finish for weather-tough durability, low maintenance, & lasting beauty

Note: Be sure to check with your railing manufacturer to ensure your railing can withstand the tension load of CableRail infill.



More inspiration:
Photo gallery

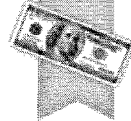


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Win up to \$500!



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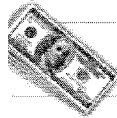


Photo Contest
Prizes up to \$500!



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Photo Gallery



VIDEO LIBRARY:
How-tos and more

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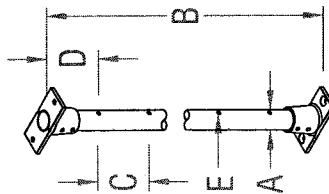
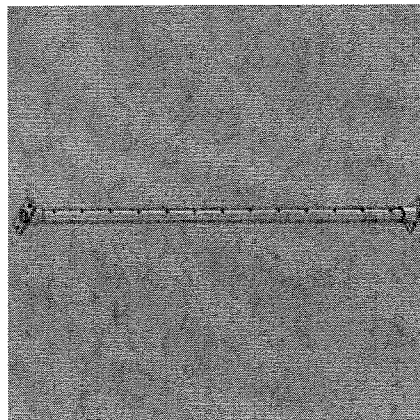


IMPORTANT: After installing the required upgrade please reload this browser window to view the video player.

CABLE RAIL STABILIZER POST

CABLE STABILIZER KIT

316L STAINLESS STEEL



ITEM	A	B	C	D	E	WT
S0950-0060	1"	42.00"	3.00"	3.00"	0.22"	2.90

(lb)

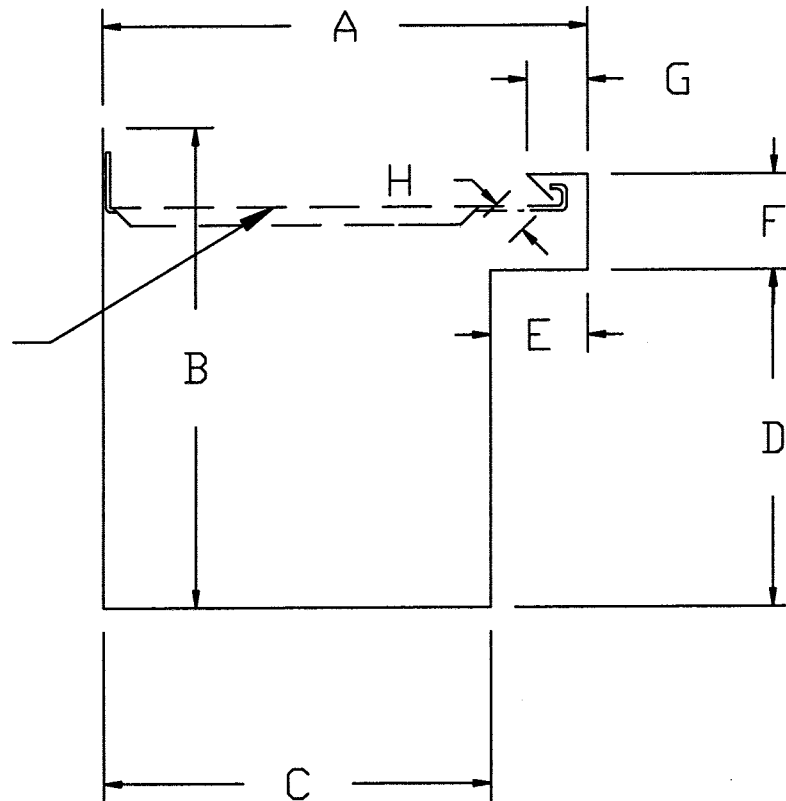
NOTE:
The Cable Stabilizer Kit is designed specifically for use where post to post measurement spans over 4'. It enables you to adapt longer spans to code compliance by stabilizing the deflection of cable between posts. Each kit comes with a 42" stanchion pre-drilled to work with our standard 3" spacing. In most cases, stanchions must be field cut at both ends for an accurate fit. The Cable Stabilizer Kit cannot be used to replace the use of substantial mid posts and should never be used in spans over 7'. Kit includes fasteners.

RUTLAND GUTTER SUPPLY LLC

rutlandguttersupply@yahoo.com Ph: 407-859-1119 Fax: 407-859-1123

BOX GUTTER SIZES

**HIDDEN
HANGER
REQUIRED**



STANDARD GUTTER SIZES

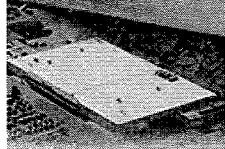
A	B	C	D	E	F	G	H
5"	5"	4"	3½"	1"	1"	5/8"	3/8"
6"	6"	5"	4½"	1"	1"	5/8"	3/8"
7"	7"	6"	5"	1"	1"	5/8"	3/8"
8"	8"	7"	6"	1"	1"	5/8"	3/8"

**CUSTOM SIZES AVAILABLE
UPON REQUEST**

CUSTOM ORDERS CAN NOT BE RETURNED



**Flexible Solutions in
High-Performance
Coating Systems!**



Roofing Systems →

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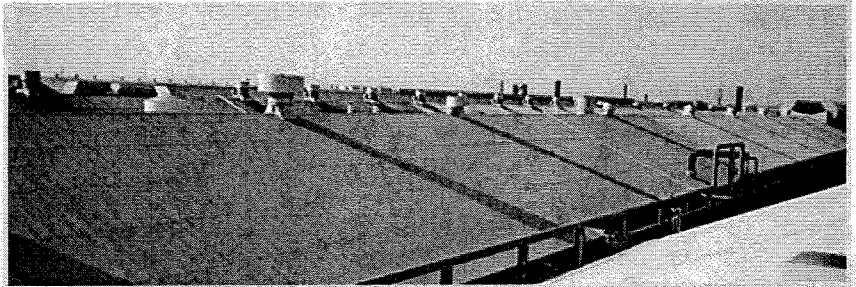
→ **Request Information**

**Fully Reinforced
Partially Reinforced
Coating Only
Existing Asphalt
Single-Ply
Metal
Concrete
Roof Board
Historic Preservation
Installation Guides
Warranties +**

Fluid Applied Roof Systems for Metal Roofs

Metal roofs often require frequent roof maintenance to repair roof leaks. Harsh weather conditions cause corrosion that is both unsightly and destructive. But with Acrymax high-performance waterborne elastomeric coatings and liquid acrylic roofing systems, your metal roof will require less maintenance thanks to unparalleled moisture and thermal protection combined with protection from corrosion. Additionally, our coatings will save you money on energy bills thanks to reflective cool roofing technology.

Acrymax has been at the forefront of the roofing industry for more than five decades, and continues to develop and provide protective roof systems and architectural coatings for a wide variety of applications. For stopping roof leaks, and to provide a weatherproof system, our partially reinforced systems combine reinforcing roof fabric at roof seams and other vulnerable areas to create an exceptionally durable elastomeric roof membrane system. For those looking to protect and maintain a metal roof our protective coating systems guard against corrosion and can provide architectural color or a reflective cool roof coating.



- **Partially Reinforced Membrane Systems:** Acrymax currently offers three variations of partially reinforced roof coating systems for metal roofs. The ARS-2-M15 system has an average thickness of 15 mils on the field of the roof and 40 on the reinforced areas, while the ARS-2-M20 system averages 20 mils on the field and 45 on reinforced sections. Adding an additional finish coat of extra-durable, high-strength Acrymax AF-130XT elastomeric coating, and you have the ARS-2-M25XT system, which averages 25 mils in thickness on the field of the roof and 50 mils on reinforced sections.
- **Coating-Only Systems:** Acrymax's ARS-3-M15 elastomeric roof coating system is designed as a reflective cool roof coating system to save money on energy bills, as a general maintenance coating, or as a color coating to provide a freshly painted look for architectural or aesthetic purposes. This system provides an average thickness of 15 mils and creates a monolithic roof covering with unmatched durability and weatherability.



If you're covering something other than a metal roof, Acrymax is still your source for a solution. We have been covering nearly any surface under the sun for more than 50 years, including asphalt roofs, modified bitumen roofs, concrete roofs, historic roofs, and single-ply roofs. And we offer products to coat more than just roofs, like architectural coatings, waterproof masonry coatings, concrete coatings, and specialty products for use in the marine and aerospace industries. Contact Acrymax today for all your roofing and elastomeric coating needs.

Acrymax Technologies | Roofing Systems | Roofing Systems for Metal Roofs



UPPER LOW PITCHED METAL ROOF COATING



Elastomeric Roofing Systems

Category	Substrate/Type	System	Average Dry Film Thickness	Coating Requirements				Warranty	
				AF-130	AF-130BC	AF-130FR	AF-130XT	Material	System
ARS-1 Fully Reinforced Systems	Asphalt	ARS-1A	45	2	3			10	10
		ARS-1A (50XT)	50		3		3	15	15
	Concrete	ARS-1C	45	2	3			10	10
		ARS-1C (50XT)	50		3			15	15
	Single-ply	ARS-1SP	45	2	3			10	10
		ARS-1SP (50XT)	50		3		3	15	15
ARS-2 Partially Reinforced Systems	FM Approved	ARS-1FR	45			5		10	10
	Asphalt	ARS-2 (A25)	25	1.5	1.5			5	NA
		ARS-2 (A30XT)	30	1.25	1.25		1.25	10	5
	Concrete	ARS-2 (C25)	25	1.5	1.5			5	NA
		ARS-2 (C30XT)	30	1.25	1.25		1.25	10	5
	Single-ply	ARS-2 (SP20XT)	20		1.25		1.25	5	5
		ARS-2 (SP30XT)	30		1.25		2.5	10	10
	Metal	ARS-2 (M15)	15	1	1			5	NA
		ARS-2 (M20)	20	1.25	1.25			10	5
		ARS-2 (M25XT)	25	1	1		1	15	10
ARS-3 Coatings Only Systems	Various	ARS-3 (15)	15	1	1			5	NA
		ARS-3 (20)	20	1.25	1.25			5	NA
		ARS-3 (25)	25	1	1		1	5	NA

Notes: Coating Requirements are listed in gallons per 100 square feet

Material warranty - Acrymax will supply sufficient materials to repair leaks caused by normal weathering or will replace materials proven defective.

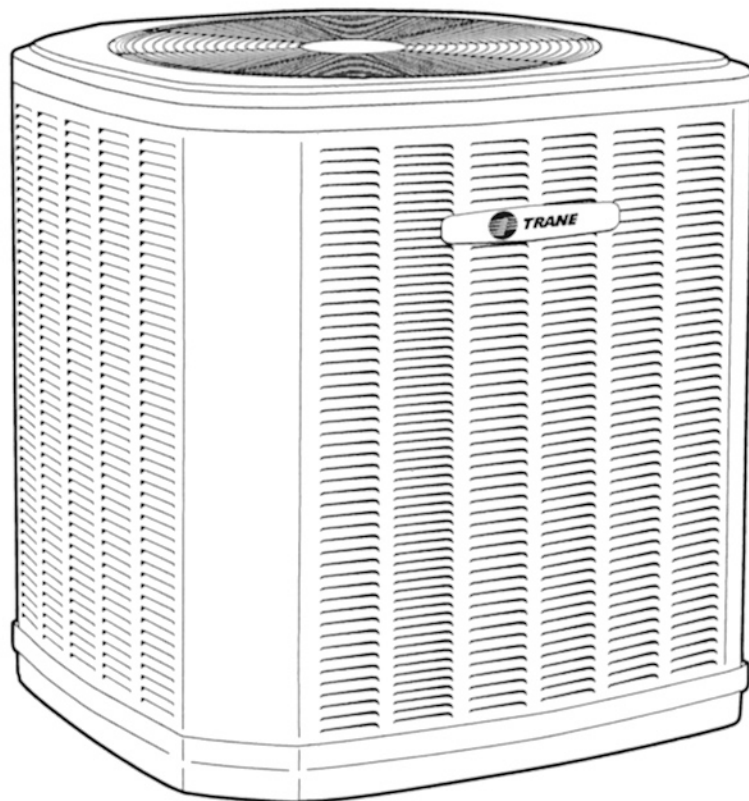
System warranty - Requires project acceptance, pre-inspection, final inspection, and applicable warranty fee. Must be applied by Acrymax Approved Applicator



Split System Heat Pump Product Data

XR14 4TWR4

1 1/2 - 5 Tons

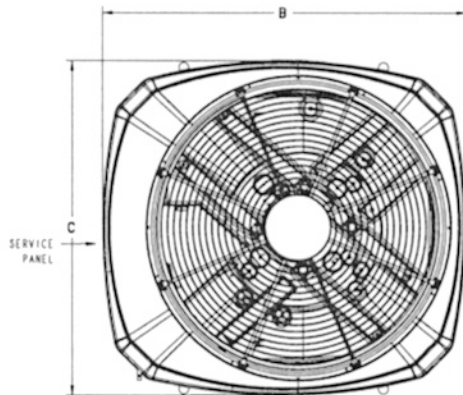


PUB. NO. 22-1765-10

Dimensions

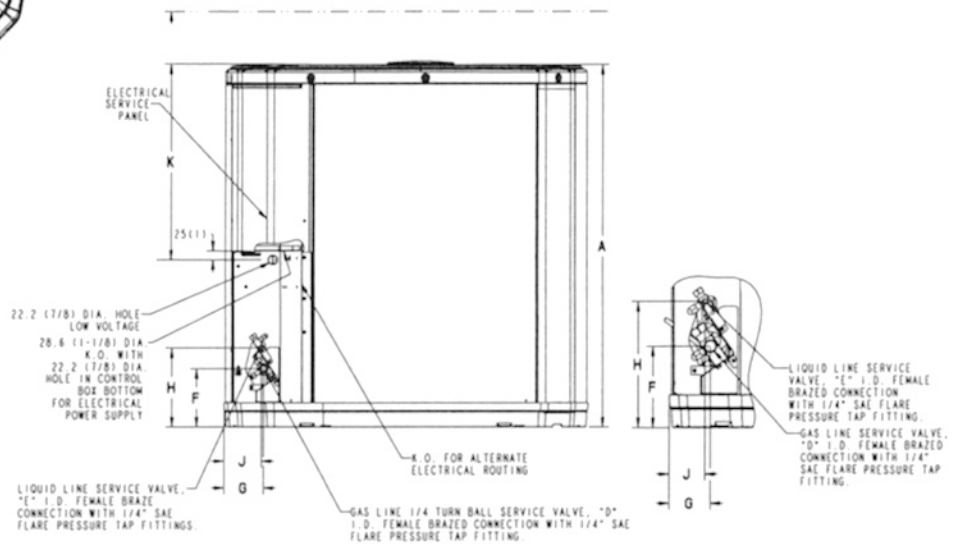
4TWR4 Outline Drawing

Note: All dimensions are in MM (Inches).



ELECTRICAL AND REFRIGERANT
COMPONENT CLEARANCES
PER PREVAILING CODES

TOP DISCHARGE AREA SHOULD BE
UNRESTRICTED FOR AT LEAST 1524 (5 FEET)
ABOVE UNIT. UNIT SHOULD BE PLACED SO ROOF
RUN-OFF WATER DOES NOT POUR DIRECTLY ON UNIT,
AND SHOULD BE AT LEAST 305 (12") FROM WALL AND
ALL SURROUNDING SHRUBBERY ON TWO SIDES
OTHER TWO SIDES UNRESTRICTED.



MODELS	BASE	A	B	C	D	E	F	D	H	J	K
4TWR4018D	3	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	5/8	3/8	127 (5)	76 (3)	197 (7-3/4)	57 (2-1/4)	508 (20)
4TWR4024E	3	841 (32-3/4)	829 (32-5/8)	756 (29-3/4)	3/4	3/8	127 (5)	76 (3)	197 (7-3/4)	60 (2-3/8)	508 (20)
4TWR4030D	4	841 (33-1/8)	946 (37-1/4)	870 (34-1/4)	3/4	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TWR4036D	4	841 (33-1/8)	946 (37-1/4)	870 (34-1/4)	3/4	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TWR4042D	4	841 (33-1/8)	946 (37-1/4)	870 (34-1/4)	3/4	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TWR4048D	4	943 (37 1/8)	946 (37-1/4)	870 (34-1/4)	7/8	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TWR4060E	4	1147 (45 1/8)	946 (37-1/4)	870 (34-1/4)	7/8	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	813 (32)